



Florida Department of
Law Enforcement

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DATE: October 4, 2019
SOLICITATION NUMBER: FDLE ITN 710:0268
SOLICITATION TITLE: Florida Department of Law Enforcement Lease Space Needs
Escambia or Santa Rosa County
REPLY OPENING: November 19, 2019, 2:00 P.M. E.T.
ADDENDA NUMBER: Two (2)

This addendum serves as notice of responses to questions received prior to and during the Pre-Bid Conference on September 18, 2019 from potential Vendors relevant to the Invitation to Negotiate (ITN).

All other terms and conditions of the ITN remain unchanged.

**THIS ADDENDUM NOW BECOMES PART OF YOUR REPLY RESPONSE.
THE ADDENDA ACKNOWLEDGEMENT FORM SHALL BE SIGNED BY AN AUTHORIZED COMPANY REPRESENTATIVE,
DATED AND RETURNED WITH THE REPLY RESPONSE.**

<u>ADDENDA ACKNOWLEDGEMENT</u>	
COMPANY NAME:	_____
FEDERAL TAX IDENTIFICATION NUMBER:	_____
ADDRESS:	_____
CITY:	_____ STATE: _____ ZIP: _____
AUTHORIZED REPRESENTATIVE:	_____ TITLE: _____
AUTHORIZED SIGNATURE:	_____ DATE: _____
PHONE:	_____ EMAIL: _____

FAILURE TO FILE A PROTEST WITHIN THE TIME PRESCRIBED IN FLORIDA STATUTE 120.57(3) OR FAILURE TO FILE A BOND OR OTHER SECURITY WITHIN THE TIME ALLOWED FOR FILING A BOND SHALL CONSTITUTE A WAIVER OF PROCEEDINGS UNDER CHAPTER 120 FLORIDA STATUTES.

Florida Department of Law Enforcement
ITN 710:0268 – Escambia and Santa Rosa County
Vendor Questions Posed Prior to and During the
Pre-Bid Meeting on September 18, 2019
Written Answers
October 4, 2019

Question 1: Please confirm for the Option 1 – an existing building – the Performance Bond is not required as implied on page 16 of the ITN. This appears to add an unfair advantage for the new building offeror. Risk for each type of offer do exist?

Answer 1: A Performance Bond is not required for existing buildings.

Question 2: Pg 20 of the ITN for non-existing buildings to furnish 100% Performance Bond, confirm this is only for the tenant improvement and not the entire building as implied

Answer 2: The Offeror shall submit a performance bond in the amount of 100% of the value of the tenant improvements required to complete the project. The tenant improvements cost shall be documented by an itemized construction cost detail worksheet for the project which has been prepared, dated and certified by the Offeror.

Question 3: Pg 24 Confirm the occupancy move in date of October 1, 2022, does not refer to the date of temporary or final certificate of occupancy but the time the tenants can start moving in and not actually occupy for actual business functions.

Answer 3: The Lease Commencement Date is to be October 1, 2022. The proposed space is to be made available August 1, 2022 at no costs to FDLE in order that they may begin moving some of their existing furniture and equipment into the space. It is expected that the Lessor will have the Temporary or Permanent Certificate of Occupancy by August 1, 2022.

Question 4: Pg 28 of the ITN states 30 spaces in the secured parking area, while on pg 28 of the program requirement sheet calls for 15 parking spaces

Answer 4: The request is for space for 30 vehicles within the Secure Compound (4 of which will be covered for over-sized vehicles), plus 2 cages described in the ITN.

Question 5: Pg 28 states 4 spaces for each 1,000sf, please confirm this is per the rentable sq footage and not the overall sq footage of the building or buildings?

Answer 5: Will be addressed within an Addendum to the ITN document.

Question 6: Pg 44 references the Tennant Improvement Allowance. Please confirm the \$0.40 per sq ft is to be included every year, including the first year as well.

Answer 6: Starting in Year One of the Lease, awarded Lessor is to provide \$0.40 per square foot per year into an escrow account to be utilized for tenant improvements at the Agency's discretion.

Question 7: Pg 48, confirm the ornamental metal fence is at the perimeter of the staff parking or is the fence to be at the site perimeter or both?

Answer 7: At the perimeter of the staff parking.

Question 8: What is the number of staff parking to be in the secured area?

Answer 8: The projected staff size is about One Hundred Seventy (170) persons (includes four (4) spaces for contributors).

Question 9: Is the access into the complex secured?

Answer 9: Secured access to staff parking but open access to the public parking and to the main lobby. All exterior doors to the building will require electric strikes and card access. The access to the Loading Dock area will also be secured by a rolling, motorized gate and with secure card.

Question 10: What is the number of visitor parking that is not to be in the secured area?

Answer 10: Sixty (60)

Question 11: Pg 58 Future Expansion – For building purposes now, we assume the parking area can be moved if this 6,000sf space is ground level?

Answer 11: Second floor on the 100% construction documents. If other plans are used, the expansion space will be for the Biology Lab.

Question 12: Does the proposed floor plan show this future lab area to be ground level or on an existing roof structure?

Answer 12: Second floor on the roof structure on the 100% construction documents.

Question 13: We understand a complete design of the building and site has been previously prepared.

- a. What is the total acreage needed for this approach? Acreage w/ dimensions to show what size and shape of site is ideal will be helpful. What was the amount of parking spaces proposed in this plan, so ample space comparison can be made?
- b. Is the desire to have all the program space into one, two, or three buildings?
- c. Would all the buildings need to be connected with covered walkways?
- d. Is the proposed program that has already been devised, the desired approach, if so, can the drawings and / or part of the drawings be provided prior to the meeting to see if we are interested in utilizing this program? Time is of the essence.
- e. Is this proposed design been done in Revit or some other 3D modeling program?
- f. What was the construction budget of the proposed project? When was the budget created? Can a cost breakdown of the proposed approach

be provided for some quick analysis to see if the numbers will work for the lease?

- g. Is there a chance the agency did pay for the services previously provided to where these drawings can be made available to all interested parties?

Answer 13: a. FDLE estimates that a minimum of 4 acres of buildable land will be required in order to build the 100% construction plans and contain all parking onsite. A larger parcel may be required if local jurisdictions require onsite retention/detention facilities, or if the building is redesigned to be only one or two floors.

b. The desire is for one building, except for the separate warehouse.

c. If multiple buildings are proposed, all walkways shall be enclosed, air-conditioned walkways to connect all but the warehouse.

d. Plan reviews were scheduled for September 19 and 20, 2019. If additional reviews are required, please contact the Tenant Broker.

e. No

f. Provided at the conclusion of this Question and Answer document is the 100% construction documents cost analysis provided by Culpepper Construction in January 18, 2018. This cost analysis document is not a part of the formal ITN documents, and its content should not be construed as supplementing or modifying any of the ITN documents. This document outlines a single company's broad conceptual overview of the project, as envisioned by it, at a specific point in time in the past. Each Proposer is solely responsible for its decision(s) regarding whether and how to use any information in this document in any way.

g. Due to the nature of FDLE's business, the 100% construction documents are deemed confidential. The 100% construction documents are available, at no cost, to the awarded Offeror, upon written approval by Rolland Architecture. However, as stated above the 100% construction documents are available for viewing, as provided in section II. C.

Question 14: Pg 62 states to provide a chilled and hot water heating system with 75% redundancy for the chiller, is the chiller system the only option for the HVAC system for the building? For cost, maintenance, and comfort, there are other mechanical system options we would like to consider.

Answer 14: Chillers are required

Question 15: Pg 63 Storm Drain Piping states to be cast iron pipe with joint restraints on 6" and larger pipe. This is typically not a requirement in Santa Rosa or Escambia Counties. It is likely any existing site the storm will not be done in cast iron pipe.

Answer 15: Cast iron piping is to be used for storm water piping inside the building and to a point five feet outside the building. PVC piping is to be used for storm water piping outside the building. The actual storm structures and piping are to be RCP-reinforced concrete pipe.

Question 16: Pg 85 states to provide and maintain 2- bi-fuel generators. Please confirm the fuel usage during emergency operations will be reimbursed to the landlord or paid by the agency.

Answer 16: Generator fuel reimbursement only applies under a declared State of Emergency issued by the Governor and FDLE Commissioner. All other fuel usage will be the responsibility of the awarded Lessor.

Question 17: Please clarify the layout of the 2 – 20x30 x 8ft chain link fences inside the 10' CMU area?

Answer 17: Located at the end of the secure compound for storage of confiscated crime scene vehicles.

Question 18: Are there any criteria for the exterior finishes on the buildings, or is this owner option?

Answer 18: Exterior materials on the 100% construction documents were brick and cast stone. Materials must be durable, easily maintained and commensurate with the character of a Class A office building.

Question 19: Schedule: with the dates shown w/ responses to questions and the due date, doesn't not leave much time for someone starting from scratch. Is the end date that set in stone, that more time could be given on the proposal for one to consider developing a plan that may be less expensive? We feel w/ the market in Pensacola, any cost given a year ago, may be hard to achieve.

Answer 19: FDLE has reviewed the timeline in comparison with recent ITN procurements that also allowed for existing building proposals and non-existing (build-to-suit) proposals at similar size needs. FDLE determined the response timeline is reasonable as it is consistent with such procurements. Scheduled timeline will not be modified at this time.

Question 20: If the prepared design's construction cost is near \$40,000,000, it is likely the rent could be over \$45/sf. Is this within the state's budget? If not, what is the proposed budget for rent?

Answer 20: There is not a defined proposed budget for rent. Under a competitive solicitation, the goal is to achieve the best leasing value to the State. Offers will be compared against one another as well as considered based on market rates. The recommended Offeror's pricing will be reviewed with the Governor's Budget Office and is subject to legislative budget approval as outlined in the State's standard lease document (page 107 of the ITN, Section 18).

Questions asked during the Pre-Bid Meeting on 9/18/19

Question 21: Was there a reason for stopping at 9 mile road?

Answer 21: Boundaries were considered and designed to allow accessibility on and to main thoroughfares within the region. 9 Mile Road was determined to be the northern boundary in Escambia County that allowed for the accessibility that FDLE is seeking.

Question 22: Confirm the need for 4/1,000 parking spaces and the additional 30 parking spaces?

Answer 22: The agency has determined that a total of 260 parking spaces (including ADA spaces) are required. Thirty (30) spaces within the compound, One Hundred Seventy (170) for staff parking and Sixty (60) spaces for visitors. FDLE will provide an addendum to the ITN for this requirement.

Question 23: How soon will FDLE provide answers to proposed questions?

Answer 23: FDLE will make every effort in providing responses as timely as possible. Note: some responses may take additional time due to the technicality of the question.

Question 24: What services will be required on August 1, 2022?

Answer 24: The following services are expected to be completed by August 1, 2022; Security Vendor must have all card readers and cameras installed and operational and all telephone and technology wiring and IT racks installed.

Question 25: Would there be a problem with a single story building?

Answer 25: The offering of a contiguous single-story building does not appear to be a problem.

Question 26: Is a Chiller System required?

Answer 26: See above answer to question 14.

Question 27: Is there a cost for the existing construction documents?

Answer 27: See above answer to question 13 (g).

Question 28: Is there a preference on locations in downtown? Would that be weighed in scoring?

Answer 28: There is no preference in location, but the proposed location is weighed. See page 30 of the ITN for Evaluation Criteria.

Question 29: Minimum acres – Is less than 4 acres acceptable?

Answer 29: See above answer to question 13 (a).

Question 30: What costs to take the drawings to the next step?

Answer 30: The existing 100% construction documents are available, at no cost, to the awarded Offeror, upon written approval by Rolland Architecture. The 100% construction plans will require updating to meet the new building code. Rolland Architecture will provide all Offerors the same price for this service, to include architectural, mechanical, plumbing, electrical, information technology, landscape architecture and structural disciplines. Costs for changing the building must be borne by the Offeror. Costs for civil engineering must be borne by the Offeror and may vary based on the specific site requirements.

Question 31: The square footage reflected in the Program Area Requirements differs from the requested square footage within the ITN document and the 100% construction documents.

Answer 31: The 84,000 – 90,000 requested square footage identified within the ITN and the 100% construction documents is the Gross square footage, which will be addressed within an Addendum to the ITN document. The 65,516 square footage shown on the Program Area Requirements uses inside dimensions and does not include walls, stairs, bathrooms, elevators, etc.

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS REVIEW

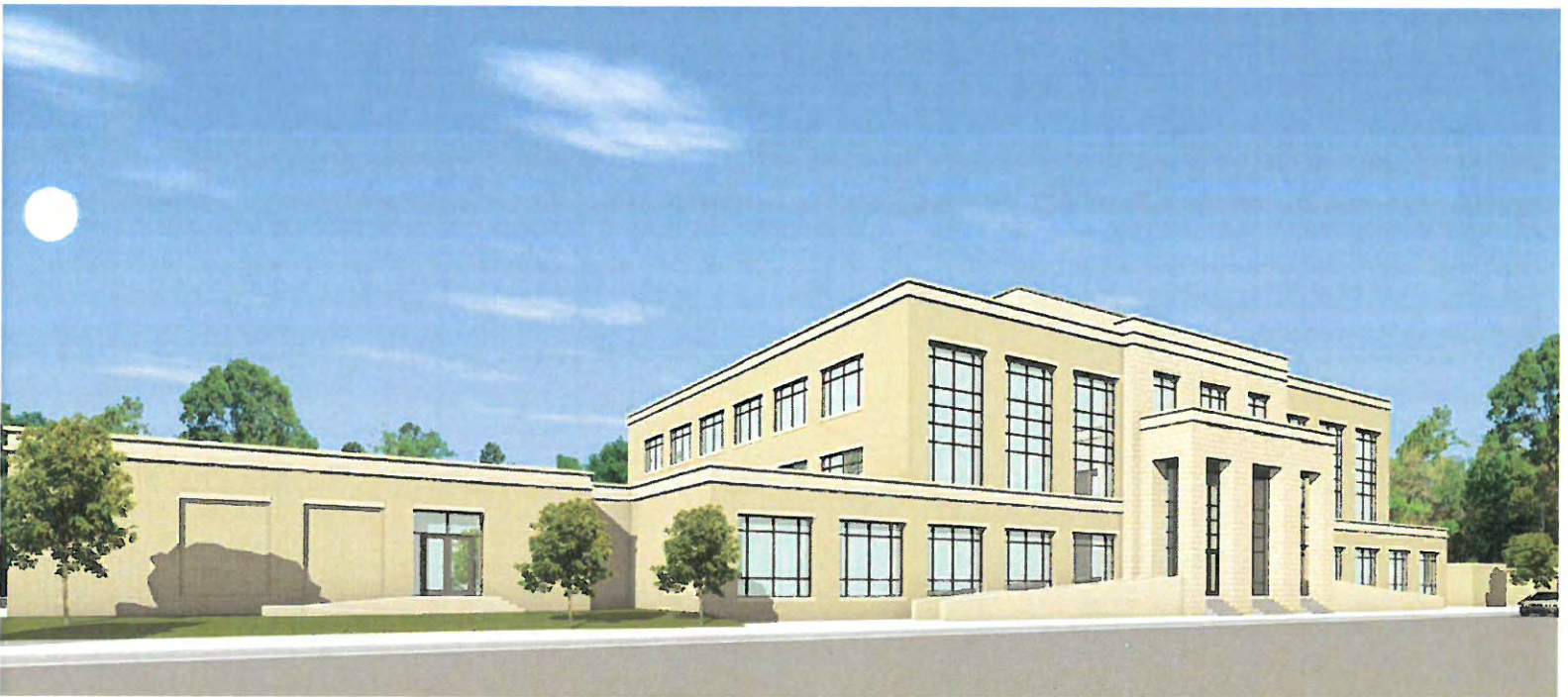
PENSACOLA REGIONAL OPERATIONS CENTER

FLORIDA DEPARTMENT OF LAW ENFORCEMENT

PROJECT NO. 2016-032

Pensacola, Florida

January 18, 2018



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January 18, 2018

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Section One

Summary & Budget Analysis

Summary

Culpepper Construction Company is pleased to provide the Project Team with our review comments to the 100% Construction Document submittal for the construction of the Pensacola Regional Operations Center for FDLE, dated November 20, 2017. The following comments are provided to ensure the completeness of the construction document submittal and conformance to project budget established for this project.

This review document includes a complete cost analysis, potential alternates, our assumptions and clarifications considered in the preparation of the 100% CD cost estimate for the project. The cost estimate provided herein assumes commencement of construction September 2018 and continuing through the first quarter of 2020.



Section Two
Clarifications | Assumptions | Exclusions

Clarifications and Assumptions

Project Areas

The 100% CDs present an 84,077gsf project. This gross building area remains unchanged from the 50% CD submittal.

Project Area Analysis

Floor Level	Building Gross Areas					Occupied Space Total	Elevated Building Structure	Roof Areas
	Main Bldg.	Training	Crime Scene	Warehouse	Total			
Basement					0	0	0	
First Floor	24,168	5,320	7,617	6,000	43,105	43,105	0	24,409
Second Floor	18,696				18,696	18,696	18,696	1,824
Third Floor	16,872				16,872	16,872	16,872	11,468
Mech. PH (4th)	5,404				5,404	0	5,404	5,404
Totals	65,140	5,320	7,617	6,000	84,077	78,673	40,972	43,105
% of Total	77.48%	6.33%	9.06%	7.14%	100.00%	93.57%		

General Comments

1. The project is anticipated to seek and obtain LEED certification. LEED registration and certification expenses are not included in the estimate.
2. Concrete specifications (03 30 00; 1.3; A) state that "the owner will employ and pay an independent testing laboratory to perform concrete testing". This is not consistent with the rest of the specifications. The estimate includes the cost of concrete materials testing.
3. There has been discussion about the requirements for the generators to provide enough fuel for an extended operation period. The plans and specifications are not clear as to the fuel tank capacities required for this equipment.



SITE PLANS – CIVIL / LANDSCAPING

1. C-101: Site Demolition Plan:

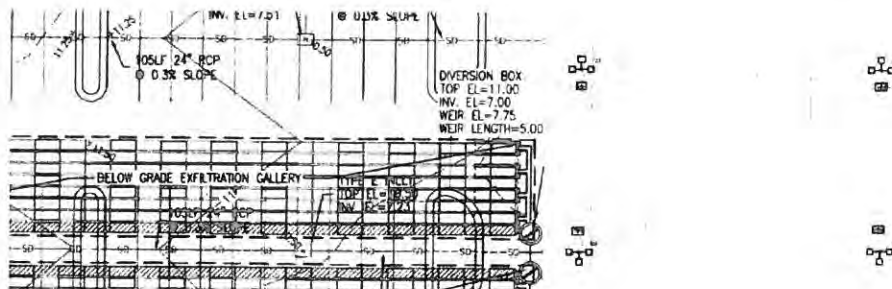
- Estimate Note: This drawing is indicating the complete removal of sidewalks around the perimeter of the site. (Earlier estimates assumed that the sidewalks would only be replaced as required to complete the new construction)
- Overhead Power at perimeter: In previous estimates, we anticipated that requirement for overhead power relocation and had included its cost in the earlier estimate revisions. On Drawing C-101 of the 100% CD submittal, drawing note indicates that this work is “by Others”. Based on this note the cost of this work has been deleted from the estimate. The coordination of this work remains with the scope of the work.
- Demolition of Curbs at Intendencia and De Villiers Street is not indicated and should be added to this plan.

2. C-102: Control and Staking Plan:

- Provide E-W Controls for parallel parking at Romana Street
- Main Parking Lot N-S Controls required.
- Provide controls for retaining wall adjacent to the Intendencia Street parking lot.

3. C-103 Grading and Paving Plan:

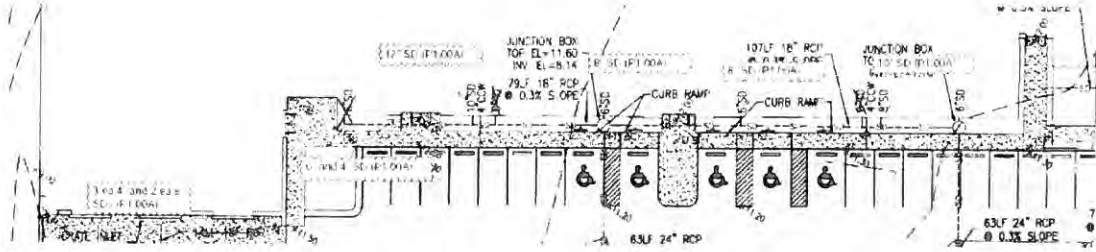
- Parking lot light pole base locations conflict with the storm drain layout, both are centered. (Reference E1.11, C-104)



- Coordinate C-103 and Plumbing P1.00A:



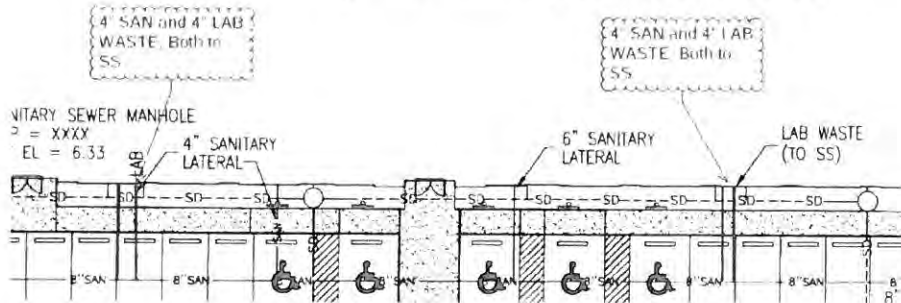
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- Storm Drain from Warehouse is one 6" SD and three 4" , reference P1.00B. We recommend adding a manhole to enable the termination of these to the 12" RCP.
- Provide a structure schedule for the storm structures.

4. C-104 Utility Plan

- Missing Top of Manhole elevation adjacent to building
- Lab waste and adjacent sanitary waste not clearly defined on this sheet.



5. A1.00 Architectural Site Plan

- Dumpster Enclosure:
 - Consider the retaining wall and grade differential. If this is only location, then a ramp should be provided from the upper parking lot elevation to the lower.
 - Coordinate the size of the enclosure, the civil and architectural show different sizes.
- Align the ornamental fence with the top of the retaining wall near the dumpster enclosure.
- Size of chain link fencing adjacent to warehouse.
- There is a lift arm gate and automatic sliding gates at the main entry. Are both needed? An add alternate is provided for the Lift Arm Gates.



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- Provide a Lift Arm Gate Specification.
- Rough-in/Power is not shown for automatic sliding gates.
- Pedestrian Gate hardware specified and rough-in indicated on electrical.
- No flag poles are currently shown on the drawings. Estimate includes (3) flag poles and bases.
- Verify that these gate assumptions are included in the docs:
 - Loading Dock - Sliding Gate with Auto Operator
 - Compound - Sliding Gate with Operator
 - Warehouse Interior Chain Link Fencing & 2 Gates
 - Gas Storage Fence & Gate

6. General Site Related Comments

- Plans for Below Grade Exfiltration system will be required.
- The trench drains at the warehouse and garage entrances are not scheduled on either the plumbing or civil documents.
- Storm and Sanitary crossing elevations have been verified, no conflicts uncovered.
- The sidewalk detail on C-900 calls for sealant at expansion joints. Verify this requirement.
- Parking Lot Signage, other than handicapped signage, is not detailed or specified. The balance needs to be incorporated into the documents.

7. Soils beneath the 3-story building structure will be improved through the utilization of vibro-replacement (stone columns).

ARCHITECTURAL PLANS

A1.00

- Canopy (in compound). This drawing references structural drawings, which on S1.2C provide a framed structure and 1.5" metal roof deck. Additional details, specifically related to the roof component of the canopy are required.



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A1.01A

- Identify the limits of the concrete pavers at the front entrance. Reference detail 4/A4.01

A1.01B

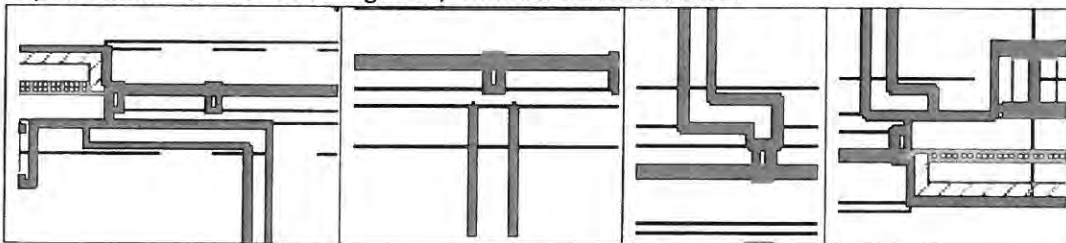
- No details are provided for the operable walls at the training rooms.

A1.01C

- Call out loading dock bumpers.
- Specification Section 11 16 19 Dock Levelers is included in the project manual. There is no indication at the loading dock area of this equipment being installed.

A1.02

- Expand detail for the following wall / window intersections:4



- Please provide details for the 42" high walls in space 2100 and 2117.

A1.05

- Label overflow scuppers shown for 2nd floor roof on west side

A1.11B

- Rooms 1201 and 1210 appear to show a base cabinet in the vestibule. These cabinets are not indicated in the millwork elevation sheets. Estimate includes a "vanity-style" cabinet top in these areas.

A1.21A

- Add floor finish for elevator cabs. Estimate assumes that they will match the flooring in the 1st floor corridor adjacent to the cabs.
- Sheet is named "First Floor Furniture Plan – Part A".

A1.24

- Add designation for stairs 4007 and 4011 "SC-2".



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A1.31A (Applicable to all RCPs)

- Provide elevations of all Gypsum Board Ceilings.
- Any special treatment required for the exposed ceilings in the vault, spaces 1504 and 1505?

A131B

- The ceiling height in the training room is only 9'6". Looks low for this size space.
- Exterior Soffits – Note reads "stucco". It would be more efficient to use the EIFS finish (similar to the mechanical penthouse) in these areas.

A1.31.C

- Loading Dock, on this sheet the legend calls the symbol used as gypsum board ceilings. This should be the exterior finish application.

A1.32

- Partitions in Room 2100, do not match up with floor plan layout.

A2.11

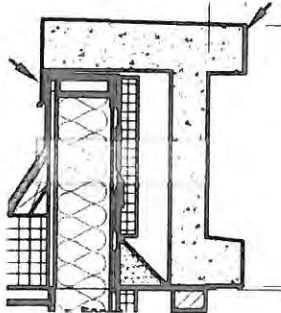
- Detail 6/A2.11 Elevation of man-gate needs to accommodate electrified hardware for access control.

A4.01

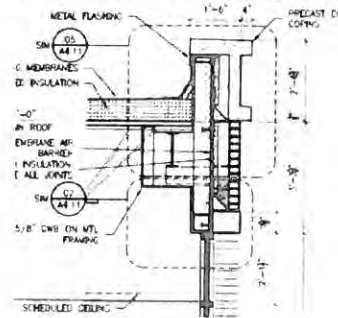
- Section 04/A4.01 | Floor 2 window head at entrance: Details indicates that wind load of the window at the head is picked up by the suspended precast. Consider providing direct framing for window head to building structure.
- Coping detail will be multiple pieces of precast consisting of horizontal coping and vertical panel.
- Window blinds and/or blind pockets are not indicated in the drawings or specifications. The estimate includes a budget for blinds at storefront windows.
- Wall sections don't reference the air barrier specified in 072713. [would like to propose changing to a fluid applied air-barrier in lieu of the rolled product specified].
- Overflow Scuppers Location: Please review/Confirm the overflow scupper location.



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- Detail Below: Why are we framing and wrapping this beam? Ceiling intersects window @ mullion.
- Detail Below: Is glass spandrel over horizontal mullion?

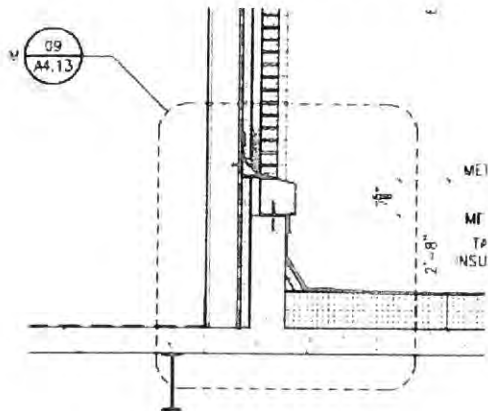


A4.02

- Detail 5/A4.02: Add embedded angle into slab at loading dock.

A4.04

- Confirm that the concrete curbs (09/A4.13) show up on the structural plans.





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A4.11

- Detail 02/A4.11 – Delete 2nd steel angle above precast – verify alignment with the balance of the relief angle at this location. [Detail 15/A4.13 sim]
- Detail 03/A4.11 – Precast Section to be 2 pieces.

A6.31

- Plan references to section 05/A6.32 should be 05/A6.31.
- Section 05/A6.31, outer wall is detailed as concrete. Revise detail to precast clad wall to match elevations.

A7.11

- Sections 01/A7.11 and 03/A7.11 show the base cabinets as 2'-0" wide, but the plan view (A1.11C) scales out to 3'-0" wide.
- Cabinet sections refer to elevations for countertop material. Elevations do not indicate required material (typical for all millwork sheets).

A8.01

- General Note – Provide head and Jamb references.
- Doors 1000 and 1811A should be ballastic rated doors.
- Doors in demountable partitions should be so noted in schedule with appropriate details referenced.
- Doors pairs on schedule do not indicate type, material, or frame information.

A8.21 Note references Sheet A8.11 for details, should be A8.31.

- Identify glass types and spandrels in glazing elevations

A9.11

- Finish selections not provided (Verify with specification manual)
 - Epoxy Flooring
 - ESD/Anti-Static Flooring
 - LVT – Estimate assumes a Shaw "Bosk Pro" 20 mil. product.
 - Porcelain Tiles PT-1 through PT-4 - Estimate assumes Florida Tile "Continent" or "Formations"
 - Rubber Flooring – Estimate assumes "Armorium 3/8" roll rubber.



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- Resin Flooring – Please select another product, preferably a Stonhard product as basis of design.
- Carpet 1-4 – Estimate assumes a Shaw “Color Form” product.

Architectural General Notes

- Identify the location of fire extinguishers on the plans. Quantity of 47 in specifications seems excessive.
- No wall section found for the penthouse wall. Assume concrete curb required @ base per structural detail 5/S6.3.
- Provide a signage plan for the project.
 - Directory
 - Building Plaque
 - Interior signage
 - Exterior signage
- We anticipate creating a bid alternate for the roofing contractors to price tapered insulation as an alternate.
- Acoustical wall treatment was previously assumed in the Training Building multi-purpose rooms.
- Three (3) recessed projection screens (and whiteboards) were anticipated at the 50% document phase. Don’t find any on the 100% CDs, are they required/desired?
- Four (4) residential-type refrigerators and microwave ovens are included for the employee break rooms.
- Explosion proof walls were anticipated at the gas storage area. Wall type is shown as type 1 CMU partition. Does this meet the requirement?

STRUCTURAL DRAINGS

S1.1A

- Elevator footing at 6/B-C is not labeled or indicated on the footing schedule. There is no section in this area, either, indicating size, thickness, or reinforcing.
- Ramp wall footing is shown in section 10/S2.2, but is not indicated on Foundation Plan (S1.1A).



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- Wall footing along line 2.0 is labeled "WF3.0", but scale drawing indicates that it is 4'-0" wide.

S1.1C

- The slab on grade and pads around the chillers and generator are not defined.

S1.2A

- Provide curb detail reference between grids 6 and 7 on "A" and "D" lines. See architectural wall sections.
- TOF ELEV should be 14'8" not 114'8"

S1.2B

- Provide supports for operable partitions in training rooms.

S1.4

- Please denote detail 5/S6.3 at all four walls of the penthouse.

S6.2

- Details 9 & 10: Roof Screen wall. Where does this apply?

MECHANICAL

M1.01A

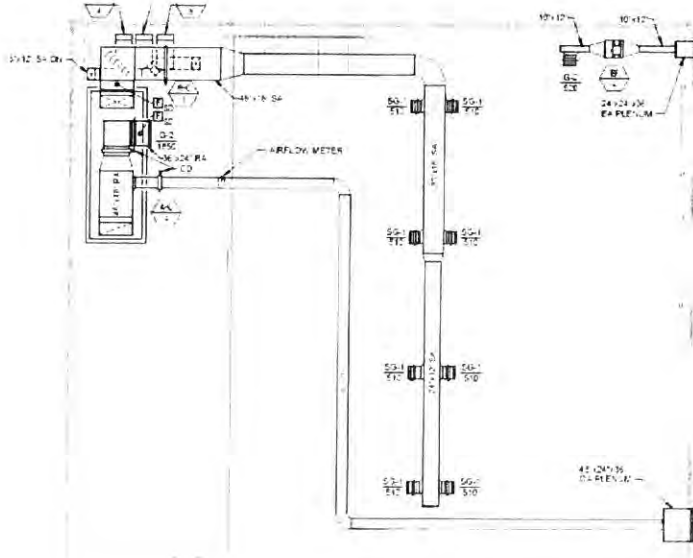
- Route 50x16 SA south to avoid conflict with Ballistic wall @ 1813.



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Pensacola Regional Operations Center, FDLE
100% Construction Document Submittal Review
January 18, 2018

M1.02C

- Warehouse - Move outside to west building face, shorten run





Exclusions

The following items have been excluded in their entirety from the construction cost estimate provided in this review.

1. This estimate does not include the costs associated with threshold inspection services.
2. The estimate excludes all costs associated with site permitting, concurrency fees, or other governmental fees not associated with tap fees, sewer and water systems charges, and building permits.
3. This estimate assumes that there are no contaminated soils that require removal from the site.
4. Provisions for any window washing equipment supports are not included in accordance with previous discussions.
5. The high density filing system on the first floor is assumed to be a part of the Owner's furnishing package. We have included the thickened slab and the installation of the floor tracks within the schematic estimate.
6. The filtered cabinets anticipated for the "Super Glue Processing" space are assumed to be furnished by the Owner.
7. Exterior signage, including monument signs but not including parking lot traffic signage, are not included in the estimate.
8. The estimate excludes broad band cabling systems, closed circuit television systems, secondary internal security access control systems, sound systems, and audio visual systems.
9. The estimate excludes the metal evidence lockers. An add alternate is provided in Section Four.



Section Three
1000% Construction Document Cost Estimate

100% Construction Document Cost Estimate

See 100% Construction Document cost estimate, attached.

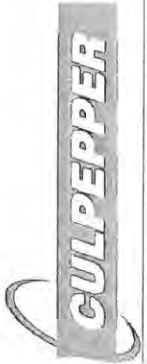
ESTIMATE TRACKING SUMMARY

Estimate	Date	Estimated Cost	Area	Unit Cost
Program Estimate	10/24/2016	\$21,958,764	77,866	\$282.01
Program Estimate	11/17/2016	\$20,521,866	64,398	\$318.67
Program Estimate	11/17/2016	\$23,127,805	75,436	\$306.59
Program Estimate	12/8/2016	\$19,369,538	63,398	\$305.52
Schematic Estimate - Building	4/28/2017	\$24,551,235	82,880	\$296.23
Design Development Estimate - Building	6/29/2017	\$26,449,851	84,077	\$314.59
50% CD Estimate - Building	10/12/2017	\$27,000,042	84,077	\$321.13
100% CD Estimate – Building	01/18/2018	27,477,596	84,077	\$326.82
Other:				
Precon Fee (included in Program Estimate)		\$156,188	84,077	\$1.86
Chappie James		\$1,358,375	84,077	\$16.16
Total Project - Construction		\$28,992,159	84,077	\$344.83

A detailed variance report showing the changes between the 50% and 100% CD estimates is attached.



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
010000		GENERAL CONDITIONS								
010001		Supervision & Management Staffing								
		Project Staffing	18.00 month	- /month				45,538.11 /month	819,686	819,686
010021		Supervision & Management Staffing								
		Field Offices								
		Set-Up, Demobilize	1.00 each	-		1,500.00 /each	1,500	-	1,500	1,500
		Field Office Trailer Rental	17.00 month	-		400.00 /month	6,800	-	6,800	6,800
		Field Office Sundries	17.00 month	-		75.00 /month	1,275	-	1,275	1,275
		Field Office Copier Lease	17.00 month	-		280.00 /month	4,760	-	4,760	4,760
		Furnishing	1.00 isum	-		1,500.00 /sum	1,500	-	1,500	1,500
		Storage Facilities	17.00 month	-		125.00 /month	2,125	-	2,125	2,125
		Electrical Hook-Up	1.00 isum	-		750.00 /sum	750	-	750	750
		Electrical Monthly	17.00 month	-		500.00 /sum	8,500	425.00 /month	7,225	7,225
		Water/Sewer Hook-Up	1.00 isum	-		200.00 /month	200	-	200	200
		Water/Sewer Monthly	17.00 month	-		200.00 /month	3,400	-	3,400	3,400
		Holding Tank Rental Service	17.00 month	-		200.00 /month	3,400	-	3,400	3,400
		Janitorial	17.00 month	-		500.00 /sum	8,500	525.00 /month	8,925	8,925
		Office Equipment	1.00 isum	-		108.25 /month	108.25	100.00 /month	1,700	1,700
		Security	17.00 month	-						
		Postage & Shipping	17.00 month	-						
		Field Offices								
		Site Phones								
010037		DSL Service	17.00 month	-		125.00 /month	2,125	-	2,125	2,125
		Mobile Phones	17.00 month	-		95.00 /month	1,615	-	1,615	1,615
		Web Enabled Project Camera	17.00 month	-		275.00 /month	4,675	-	4,675	4,675
010052		Site Maintenance								
		Project Sign	1.00 each	200.00 /each	200	1,500.00 /each	1,500	-	1,700	1,700
		Periodic Clean-Up	73.51 week	650.00 /week	47,847			-	47,847	47,847
		LEED Waste Management	17.00 month	-		250.00 /month	4,250	-	4,250	4,250
		Dumpster Pull Fee	78.00 each	-		375.00 /each	29,250	-	29,250	29,250
		Dumpster Tipping Fee	78.00 each	-		375.00 /each	29,250	-	29,250	29,250
		Final Clean-Up	84,926.00 sqft	-				0.25 /sqft	21,232	21,232
		Glass Cleaning	7,152.00 sqft	-				0.35 /sqft	2,503	2,503
010070		Temporary Utilities								
		Electrical Connection	1.00 isum	-						
		Electrical Utility Fee (1st 1/4)	4.25 month	-		750.00 /month	3,188	2,500.00 /sum	2,500	2,500
		Electrical Utility Fee (2nd 1/4)	4.25 month	-		2,500.00 /month	10,625	-	10,625	10,625
		Electrical Utility Fee (3rd 1/4)	4.25 month	-		7,500.00 /month	31,875	-	31,875	31,875
		Electrical Utility Fee (Early Permanent)	4.25 month	-		10,000.00 /month	42,500	-	42,500	42,500
		Temp Toilet 6/month	17.00 month	-		570.00 /month	9,690	-	9,690	9,690
		Drinking Water & Ice	17.00 month	-		180.00 /month	3,060	-	3,060	3,060
		Temp Fire Protection	17.00 each	-		65.00 /each	1,105	-	1,105	1,105
010084		Safety								
		Temp Site Fencing	1,540.00 linft	-						
		Temp Site Fence Windscreen	1,540.00 linft	-						
		Temp Site Fence Gates	2.00 each	-						
		Temp Fence Maintenance	17.00 month	-		50.00 /month	850	750.00 /each	1,500	1,500
		Bulletin Board	1.00 each	100.00 /each	100	200.00 /each	200	200.00 /month	3,400	3,400
		Penmeter Protection	478.00 linft	1.00 /linft	478	5.00 /linft	2,390	-	2,390	2,390
		Traffic Control	73.51 week	950.00 /week	47,847					
		Pedestrian Control/Protection	17.00 month	-				1,500.00 /month	25,500	25,500



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
010000	010084	Safety								
		First Aid Eqpt	17.00 each	-	-	35.00 each	595	-	-	595
		Temporary Stairs	4.00 flr	-250.00 /flr	1,000	1,000.00 /flr	4,000	-	-	5,000
		Safety			49,426		8,036			41,180
		Document Management								
		Job Progress Photographs	17.00 each	-	-	25.00 each	425	-	-	425
		Coordination Drawings	1.00 lsum	-	-	-	-	10,000.00 /lsum	10,000	10,000
		Document Management					425			10,425
		Layout & Engineering								
		Establish Building Controls	1.00 lsum	-	-	-	-	5,000.00 /lsum	5,000	5,000
010100	010192	Const Layout by PLS	1.00 lsum	-	-	-	-	5,000.00 /lsum	5,000	5,000
		Layout & Engineering								
		Equipment								
		Small Tools	17.00 mmth	-	-	1,000.00 /mmth	17,000	-	-	17,000
		Oil & Gas	17.00 mmth	-	-	500.00 /mmth	8,500	-	-	8,500
		Lull	17.00 mmth	-	-	-	-	2,257.50 /mmth	38,378	38,378
		Equipment					26,500			63,878
		Closeout								
		As-Built Drawings	2.00 set	-	-	-	-	1,500.00 /set	3,000	3,000
		Closeout					237,018			966,328
030000	030002	GENERAL CONDITIONS			97,471				966,328	1,300,817
		CONCRETE								
		Concrete								
		Concrete Subcontractor	1.00 lsum	-	-	-	-	989,479.00 /lsum	989,479	989,479
		Concrete								
		Insulating Concrete Roof Deck								
		Insulating Concrete Roof Deck	39,607.00 sqft	-	-	-	-	3.50 /sqft	138,625	138,625
		Insulating Concrete Roof Deck								
		CONCRETE								
		MASONRY								
040000	042110	Face Brick	364.78 m	-	-	667.82 /m	243,606	-	628,265	871,871
		Common Brick								
		Face Brick								
		Concrete Masonry Units								
		CMU	57,729.00 each	-	-	5.49 /each	317,107	-	751,595	1,068,702
		Concrete Masonry Units								
		Cast Stone								
		Cast Stone	20,738.00 sqft	-	-	34.95 /sqft	724,810	-	360,062	1,084,872
		Precast Treads - In Cast Stone	236.00 lnft	-	-	- /lnft	-	-	4,097	4,097
		Cast Stone								
050000	051220	MASONRY								
		METALS								
		Structural Framing								
		Structural Framing - Main Building	70,429.00 sqft	-	-	-	-	22.89 /sqft	1,611,845	1,611,845
		Bar Joist/Deck - Warehouse/Crime Scene	12,648.00 sqft	-	-	-	-	10.73 /sqft	135,752	135,752
		Bar Joist/Deck - Mezzanine	1,000.00 sqft	-	-	-	-	15.03 /sqft	15,026	15,026
		Operable Partition Support Beam	64.00 lnft	-	-	-	-	53.67 /lnft	3,435	3,435
		Structural Framing								
		Bollards								
		6" Dia Pipe Bollard	39.00 each	-	-	35.00 /each	1,365	-	-	1,365
055000	055006	Bollards								
		Loose Lintels	688.50 lnft	-	-	6.00 /lnft	4,011	-	1,794	5,805



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
Loose Linets										
055102		Elevator Misc Metals					4,011		1,794	5,805
		Pit Ladder	1.00 each	-	-	350.00 /each	350	161.00 /each	161	511
		Elev Sill Angles	2.00 each	-	-	125.00 /each	250	80.50 /each	161	411
		Sump Pit Frame & Cover	1.00 each	-	-	250.00 /each	250	107.33 /each	107	357
		Elev Separator Beam	3.00 each	-	-	450.00 /each	1,350	268.33 /each	805	2,155
		Elev Hoisting Beam	1.00 each	-	-	450.00 /each	450	268.33 /each	268	718
055210		Elevator Misc Metals					2,650		1,503	4,153
		Steel Stairs	6.00 flr	-	-	-	-	21,466.23 /flr	128,797	128,797
		Steel Stairs w/Rails & Landings	1.00 flr	-	-	-	-	15,026.36 /flr	15,026	15,026
055220		Steel Stairs							143,824	143,824
		Handrails & Railings	489.00 linft	-	-	-	-	80.50 /linft	39,364	39,364
		Railing/Handrail							39,364	39,364
060000		METALS			1,365		12,511		1,952,542	1,966,418
		WOOD AND PLASTICS								
061112		Wall Blocking	84,077.00 sqft	- /sqft	-	-	-	0.65 /sqft	54,650	54,650
061113		Roof Blocking	39,607.00 sqft	- /sqft	-	-	-	0.65 /sqft	25,745	25,745
064110		Cabinets							25,745	25,745
		Base Cabinets	512.00 linft	-	-	-	-	201.71 /linft	103,277	103,277
		Lab Analyst Cabinets	1,282.00 linft	-	-	-	-	250.00 /linft	320,500	320,500
		Mail Stos	6.00 linft	-	-	-	-	500.00 /linft	3,000	3,000
		Wall Cabinets	359.00 linft	-	-	-	-	125.00 /linft	44,875	44,875
		Vanity	70.00 linft	-	-	-	-	150.00 /linft	10,500	10,500
		Tool Cabinets	- linft	-	-	-	-	250.00 /linft	-	0
		Shelving Unit	- linft	-	-	-	-	125.00 /linft	-	0
070000		WOOD AND PLASTICS							482,162	482,162
		THERMAL & MOISTURE PROTECTION							562,547	562,547
071202		Bituminous Dampproofing	53,283.00 sqft	-	-	-	-	0.75 /sqft	39,962	39,962
072102		Insulation	53,283.00 sqft	-	-	1.51 /sqft	80,457	1.15 /sqft	61,144	141,602
072402		Exterior Finish System	8,350.00 sqft	-	-	-	-	11.00 /sqft	91,650	91,650
072702		Air Barrier	53,283.00 sqft	-	-	-	-	1.50 /sqft	79,925	79,925
075402		Thermoplastic Roofing	39,607.00 sqft	-	-	-	-	7.86 /sqft	311,375	311,375
078102		Applied Fireproofing	- sqft	-	-	-	-	- /sqft	-	0
079202		Joint Sealants	84,077.00 sqft	-	-	-	-	0.25 /sqft	21,019	21,019



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
Joint Sealants										
THERMAL & MOISTURE PROTECTION										
DOORS & WINDOWS										
080000	081102	Hollow Metal Doors Level 8 Ballistic Door & Hardware HM Door	4.00 each 26.00 each	- /each /each	-	- /each 364.55 /each	80.457	6 955.00 /each 85.00 /each	21,019 605,275	21,019 685,733
081202		Hollow Metal Doors HM Door Frames							30,030	39,508
081410		Wood Doors Wood Door	172.00 each 15.00 each	- /each - /each	-	255.19 /each 193.53 /each	43,893 2,753	25.00 /each 25.00 /each	4,300 375	48,193 3,128
083302		Colling Doors & Grilles Colling Doors & Grilles - 12 x 12 Colling Doors & Grilles - 12 x 16 Colling Doors & Grilles	177.00 each 3.00 each 3.00 each	- /each - -	-	365.94 /each	64,771	85.00 /each	15,045 15,045	79,816 79,816
084102		Entrances & Storefronts Storefront	5610.00 sqft 12.00 each	- -	-	-	-	60.14 /sqft 2,505.93 /each	397,541 30,071	397,541 30,071
084260		Entrances & Storefronts Automatic Entry Doors	4.00 pair	-	-	-	-	7,517.80 /pair	30,071	30,071
085110		Automatic Entry Doors Metal Windows	2.00 each	- /each	-	-	-	11,865.60 /each	23,731	23,731
087102		Level 8 Ballistic Windows Metal Windows	198.00 each	- /each	-	824.88 /each	163,327	-	163,327	163,327
088110		Finish Hardware Finish Hardware Glass & Glazing Glass & Glazing	569.00 sqft	-	-	-	-	15.04 /sqft	8,555 8,555	8,555 8,555
DOORS & WINDOWS										
FINISHES										
090000	092110	Gypsum Board Gypsum Board Misc Bulkheads/Soffits Gypsum Board Ceiling CIP Ballistic Walls in lieu of Fiberglass Sheet Misc Firestopping	84,077.00 sqft 0.15 % 4,569.00 sqft 80.00 lmt 84,077.00 sqft	- - - - -	-	-	-	12.45 /sqft 1,046,360 27 % 7.31 /sqft 1,112.50 /lmt 0.30 /sqft	1,046,360 156,954 33,377 89,000 25,592	1,046,360 156,954 33,377 89,000 25,592
092402		Gypsum Board Cement Plaster Portland Cement Plaster	835.00 sqft	-	-	-	-	15.00 /sqft	12,525	12,525
093010		Ceramic Tile Ceramic Tile Porcelain Floor Tile - Lobby Porcelain Floor Tile - Restrooms Porcelain Wall Tile Ceramic Tile	416.00 sqft 2,743.00 sqft 3,905.00 sqft	- - -	-	-	-	17.40 /sqft 17.40 /sqft 15.82 /sqft	7,237 47,719 61,759	7,237 47,719 61,759
095302		Acoustical Ceiling		-	-	-	-		116,715	116,715
									284,222	879,362



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
096302		Acoustical Ceiling								
		Acoustical Ceiling	56,782.00 lsum					3.31 /lsum	187,948	187,948
096102		Acoustical Ceiling							187,948	187,948
096502		Floor Treatment								
		Seal Concrete Floors	13,489.00 sqft					0.50 /sqft	6,745	6,745
		Floor Treatment							6,745	6,745
096702		Resilient Flooring								
		Vinyl Composition Tile	762.00 sqft					2.85 /sqft	2,175	2,175
		Rubber Flooring	589.00 sqft					7.54 /sqft	4,440	4,440
		Static Dissipative Tile	615.00 sqft					12.21 /sqft	7,510	7,510
		LVT	11,273.00 sqft					5.37 /sqft	60,500	60,500
		4" Cove Base	1.00 lsum					19,110.00 /lsum	19,110	19,110
		Resilient Flooring							93,735	93,735
096802		Fluid Applied Flooring								
		Resinous Flooring	17,747.00 sqft					8.00 /sqft	141,976	141,976
		Resinous Flooring Base	2,751.00 lmt					4.00 /lmt	11,004	11,004
		Epoxy Flooring	2,081.00 sqft					2.50 /sqft	5,203	5,203
		Fluid Applied Flooring							158,183	158,183
098402		Carpet								
		Carpet 1	20,235.00 sqft					32.04 /sqyd	72,030	72,030
		Carpet 2	2,728.00 sqft					56.33 /sqyd	17,075	17,075
		Carpet 3	785.00 sqft					50.08 /sqyd	4,368	4,368
		Carpet 4	186.00 sqft					50.08 /sqyd	1,035	1,035
		Carpet							94,508	94,508
099002		Acoustical Wall Treatment								
		Acoustical Wall Treatment	1,200.00 sqft					13.50 /sqft	16,200	16,200
		Painting							16,200	16,200
		Painting	84,077.00 lsum					2.83 /lsum	237,938	237,938
		Painting							237,938	237,938
100000		FINISHES							2,275,779	2,275,779
		SPECIALTIES								
101115		Markerboards								
		Markerboards	3.00 each	15.00 /hour	90	300.00 /each	900			990
		Markerboards			90		900			990
101302		Directories								
		Directories	1.00 each	120.00 /each	120	1,500.00 /each	1,500			1,620
		Directories			120		1,500			1,620
101420		Plaques								
		Plaques	1.00 each	36.00 /each	36	1,500.00 /each	1,500			1,536
		Plaques			36		1,500			1,536
101430		Exterior Signage - Not Incl'd								
		Exterior Signage	each	/each		/each				
101440		Interior Signage								
		Interior Signage	192.00 each	15.00 /hour	720	35.00 /each	6,720			7,440
		Interior Signage			720		6,720			7,440
102170		Plastic Toilet Partitions								
		Toilet Stall	13.00 each	30.00 /each	390	409.50 /each	5,324			5,714
		HC Toilet Stall	8.00 each	30.00 /each	240	585.00 /each	4,860			4,920
		Urinal Screen	1.00 each	15.00 /each	15	117.00 /each	1,117			1,320
		Plastic Toilet Partitions			645		10,121			10,766
102205		Mesh Partitions								
		Mesh Partitions	147.00 lmt					30.00 /lmt	4,410	4,410



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
123600		Countertops								
		Plastic Laminate Countertops	474.00 sqft	-	-	-	-	32.83 /sqft	15,560	15,560
		Solid Surfacing Countertops	720.00 sqft	-	-	-	-	67.26 /sqft	48,425	48,425
		Laboratory Countertops	2,564.00 sqft	-	-	-	-	85.00 /sqft	217,940	217,940
		Countertops								
124802		Entrance Mats	4.00 each	-	-	-	-	6,500.00 /each	26,000	26,000
		Recessed Entrance Mats								
		Entrance Mats								
129312		Walk Parking Appurtenance	2.00 each	- /hour	-	-	-	4,000.00 /each	8,000	8,000
		Bicycle Rack								
		Walk Parking Appurtenance								
		FURNISHINGS								
		CONVEYANCE SYSTEMS								
140000		Elevators								
142002		Elevators	7.00 stop	-	-	-	-	39,079.00 /stop	273,553	273,553
		Access Control Interfaces w/Elevators	2.00 each	-	-	-	-	3,500.00 /each	7,000	7,000
		Elevators								
		CONVEYANCE SYSTEMS								
		FIRE PROTECTION								
210000		Fire Protection								
210002		Service from BFP to Bldg	75.00 Inft	-	-	-	-	40.00 /Inft	3,000	3,000
		Below Grade Piping Downstream of BFP	145.00 Inft	-	-	-	-	40.00 /Inft	5,800	5,800
		Building Standpipe System	3.00 each	-	-	-	-	4,500.00 /each	13,500	13,500
		Wet Pipe System	80,870.00 sqft	-	-	-	-	2.88 /sqft	233,000	233,000
		Clean Agent System	5.00 each	-	-	-	-	1,500.00 /each	7,500	7,500
		Clean Agent System Area	1,045.00 sqft	-	-	-	-	6.50 /sqft	6,793	6,793
		Fire Protection								
		FIRE PROTECTION								
220000		PLUMBING								
220002		Plumbing								
		Service from Meter to Bldg	50.00 Inft	-	-	-	-	26.20 /Inft	1,310	1,310
		Domestic Water Distribution	84,077.00 sqft	-	-	-	-	4.28 /sqft	359,457	359,457
		Sanitary Sewer System	84,077.00 Isum	-	-	-	-	2.62 /sum	220,076	220,076
		Lab Waste & Vent System - In Above								
		Storm Water System	36.00 loc	-	-	-	-	- /loc	0	0
		Natural Gas Dist System	84,077.00 sqft	-	-	-	-	2.80 /sqft	235,795	235,795
		Plumbing Insulation	1.00 Isum	-	-	-	-	44,015.15 /sum	44,015	44,015
		Domestic Water Boosting System								
		Hose Bibbs	84,077.00 sqft	-	-	-	-	1.08 /sqft	91,174	91,174
		Floor Drains & Trap Primers	1.00 each	-	-	-	-	- /each	0	0
		Hub Drains	21.00 each	-	-	-	-	163.29 /each	3,429	3,429
		Trench Drains	27.00 each	-	-	-	-	1,061.40 /each	28,658	28,658
		Roof Drains	3.00 each	-	-	-	-	408.23 /each	1,225	1,225
		Emergency Overflow Drains	36.00 Inft	-	-	-	-	122.47 /Inft	4,409	4,409
		Sinks	56.00 each	-	-	-	-	775.64 /each	43,436	43,436
		Water Closets	6.00 each	-	-	-	-	775.63 /each	4,654	4,654
		Urinals	34.00 each	-	-	-	-	1,796.21 /each	61,071	61,071
		Shower	18.00 each	-	-	-	-	734.81 /each	13,227	13,227
		Emergency Eyewash	10.00 each	-	-	-	-	6,531.68 /each	65,317	65,317
		Water Closets	3.00 each	-	-	-	-	1,387.98 /each	4,164	4,164
		Urinals	26.00 each	-	-	-	-	1,796.21 /each	46,702	46,702
		Shower	5.00 each	-	-	-	-	1,469.63 /each	7,348	7,348
		Drinking Fountains (Double)	3.00 each	-	-	-	-	3,265.84 /each	9,798	9,798
		Domestic Water Heaters	3.00 each	-	-	-	-	6,986.53 /each	20,960	20,960
			4.00 each	-	-	-	-	6,549.88 /each	26,200	26,200



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount		
220002	Plumbing	Electric Water Heaters	4.00 each	-	-	-	-	2,278.22 /each	9,113	9,113		
		Hot Water Circulation Pump	4.00 each	-	-	-	-	1,047.98 /each	4,192	4,192		
		Sump Pumps	2.00 each	-	-	-	-	10,479.80 /each	20,960	20,960		
		Temp Water Services during Construction	16.00 mnth	-	-	-	-	209.60 /mnth	3,354	3,354		
		Concrete Pads for Plumbing Equipment	1.00 /sum	-	-	-	-	3,667.93 /sum	3,668	3,668		
		Plumbing As-Builts/Close-Out/Commissioning Identification Requirements	1.00 /sum	-	-	-	-	8,383.84 /sum	8,384	8,384		
		84,077.00 /sum	-	-	-	-	-	0.11 /sum	8,908	8,908		
		1,351,000	-	-	-	-	-	-	1,351,000	1,351,000		
		226000	Lab Systems	Lab Gas Package	1.00 /sum	-	-	-	-	160,000.00 /sum	160,000	160,000
				High Purity Water Distribution	1,700.00 /lft	-	-	-	-	17.65 /lft	30,000	30,000
				Lab Gas Piping System	1,750.00 /lft	-	-	-	-	45.71 /lft	80,000	80,000
				4' Single Sash Fume Hood	9.00 each	-	-	-	-	14,084.51 /each	126,761	126,761
				6' Single Sash Fume Hood	5.00 each	-	-	-	-	16,197.18 /each	80,986	80,986
				8' Single Sash Fume Hood	7.00 each	-	-	-	-	19,718.31 /each	138,028	138,028
				4' Double Sash Fume Hood	0.00 each	-	-	-	-	11,500.00 /each	0	0
Snorkels	11.00 each			-	-	-	-	4,929.58 /each	54,225	54,225		
670,000	-			-	-	-	-	-	670,000	670,000		
2,021,000	-			-	-	-	-	-	2,021,000	2,021,000		
230000	HVAC			Air Cooled Chillers	500.00 tons	-	-	-	-	2,820.00 /tons	1,410,000	1,410,000
				CHW Pumps	2.00 each	-	-	-	-	11,000.00 /each	22,000	22,000
				Natural Gas Package Boilers	2.00 each	-	-	-	-	42,500.00 /each	85,000	85,000
				HHW Pumps	2.00 each	-	-	-	-	11,000.00 /each	22,000	22,000
				Chemical Feed System	1.00 /sum	-	-	-	-	20,000.00 /sum	20,000	20,000
		Lab Air Valve Terminals	36.00 each	-	-	-	-	4,638.89 /each	167,000	167,000		
		Equipment Access Platform - Not incl'd	- /sum	-	-	-	-	- /sum	0	0		
		HVAC Piping CHW, HHW, Condensate	84,077.00 sqft	-	-	-	-	5.35 /sqft	450,000	450,000		
		HVAC Metal Ductwork	84,077.00 sqft	-	-	-	-	7.14 /sqft	600,000	600,000		
		Air Distribution Package	84,077.00 sqft	-	-	-	-	6.90 /sqft	580,000	580,000		
		Insulation	84,077.00 sqft	-	-	-	-	4.76 /sqft	400,000	400,000		
		Concrete Pads for Mech Eqpt	1.00 /sum	-	-	-	-	10,000.00 /sum	10,000	10,000		
		HVAC As-Builts/Close-Out/Commissioning Identification Requirements	84,077.00 sqft	-	-	-	-	0.14 /sqft	12,000	12,000		
		Hoisting, Temp Filters, Misc	84,077.00 sqft	-	-	-	-	0.50 /sqft	42,000	42,000		
		84,077.00 sqft	-	-	-	-	-	0.12 /sqft	10,000	10,000		
3,830,000	-	-	-	-	-	-	3,830,000	3,830,000				
230802	Test & Balance	Test & Balance	84,077.00 sqft	-	-	-	-	0.83 /sqft	70,000	70,000		
		Test & Balance	84,077.00 sqft	-	-	-	-	0.83 /sqft	70,000	70,000		
		HVAC Controls	84,077.00 sqft	-	-	-	-	5.95 /sqft	500,000	500,000		
230902	HVAC Controls	HVAC Controls	84,077.00 sqft	-	-	-	-	5.95 /sqft	500,000	500,000		
		HVAC Controls	84,077.00 sqft	-	-	-	-	5.95 /sqft	500,000	500,000		
		HVAC Controls	84,077.00 sqft	-	-	-	-	5.95 /sqft	500,000	500,000		
260000	ELECTRICAL	Service, Metering & Switchgear	100.00 /lft	-	-	-	-	3,923.67 /lft	392,367	392,367		
		Generator/Transfer Switch	1,100.00 kw	-	-	-	-	645.48 /kw	710,025	710,025		
		Generator/Transfer Switch	150.00 kw	-	-	-	-	1,023.19 /kw	153,479	153,479		
		Fuel	8,220.00 gal	-	-	-	-	1.05 /gal	8,653	8,653		
		Uninterruptible Power Supply System	150.00 kw	-	-	-	-	992.00 /kw	148,800	148,800		
		Uninterruptible Power Supply System (Lab)	150.00 kw	-	-	-	-	661.33 /kw	99,200	99,200		
		84,077.00 sqft	-	-	-	-	-	7.24 /sqft	608,419	608,419		
		4,400,000	-	-	-	-	-	-	4,400,000	4,400,000		



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount	
260002	Electrical	Building Lighting Package (LED)	84,077.00 sqft	-	-	-	-	10.98 /sqft	923,452	923,452	
		Exterior Site Lighting	1.00 /sum	-	-	-	-	94,481.00 /sum	94,481	94,481	
		Temp Power, Pads, As-Builts Identification	1.00 /sum	-	-	-	-	43,650.00 /sum	43,650	43,650	
		Electrical	-	-	-	-	-	-	3,182,526	3,182,526	
		Lightning Protection	-	-	-	-	-	-	25,000.00 /sum	25,000	25,000
		Lightning Protection	1.00 /sum	-	-	-	-	-	25,000.00 /sum	25,000	25,000
		Building System Raceways & Systems	-	-	-	-	-	-	618,211	618,211	618,211
		Building Systems	-	-	-	-	-	-	-	-	-
		Security/Access Controls - In Above	84,077.00 sqft	-	-	-	-	-	7.35 /sqft	618,211	618,211
		Communication Cabling - In Above	84,077.00 sqft	-	-	-	-	-	/sqft	-	-
264113	Electrical	Comm Conduit to ROW - In Above	150.00 /inft	-	-	-	-	/inft	-	-	
		Cable Trays - In Above	84,077.00 sqft	-	-	-	-	/sqft	-	-	
		Secondary Independent Com/Data - In Above	84,077.00 sqft	-	-	-	-	/sqft	-	-	
		Low Voltage Bldg Lighting Control - In Above	1.00 /sum	-	-	-	-	/sum	-	-	
		Mechanical System Wiring - In Above	84,077.00 sqft	-	-	-	-	/sqft	-	-	
		Surge Suppression System - In Above	84,077.00 sqft	-	-	-	-	/sqft	-	-	
		Comm Cabling Systems - FDLE Primary - In Above	84,077.00 sqft	-	-	-	-	/sqft	-	-	
		Building System Raceways & Systems	-	-	-	-	-	-	-	-	-
		Sound System	-	-	-	-	-	-	-	-	-
		Sound System (Not Inc'd)	- /sum	-	-	-	-	-	-	618,211	618,211
274002	Electrical	Fire Alarm System	-	-	-	-	-	/sum	-	-	
		Fire Alarm System	84,077.00 sqft	-	-	-	-	1.10 /sqft	92,439	92,439	
283102	Electrical	Fire Alarm System	-	-	-	-	-	-	92,439	92,439	
		Fire Alarm System	-	-	-	-	-	-	92,439	92,439	
		Construction Site Provisions	-	-	-	-	-	-	-	3,918,176	3,918,176
		NPDES Permit	1.00 /sum	-	-	-	-	-	-	-	0
		Relocate OH Power (Romana)	422.00 /inft	-	-	-	-	-	100.00 /inft	42,200	42,200
		Relocate OH Power (Intendencia)	2.00 /pole	-	-	-	-	-	7,500.00 /pole	15,000	15,000
		Relocate OH Power (Reus) - Not Req'd	- /sum	-	-	-	-	-	-	-	0
		NPDES Permit	1.00 /sum	-	-	-	-	-	1,200.00 /sum	1,200	1,200
		Site General Conditions	1.00 /sum	-	-	-	-	-	45,000.00 /sum	45,000	45,000
		Mobilization	1.00 /sum	-	-	-	-	-	25,000.00 /sum	25,000	25,000
310050	SITE CONSTRUCTION	Maintenance of Traffic	1.00 /sum	-	-	-	-	15,000.00 /sum	15,000	15,000	
		Testing & As-Builts	1.00 /sum	-	-	-	-	22,000.00 /sum	22,000	22,000	
		Construction Site Provisions	1.00 /sum	-	-	-	-	-	165,400	165,400	
		Site Clearing	-	-	-	-	-	-	-	-	-
		Replace Topsoil	350.00 /cu yd	-	-	-	-	-	5.00 /cu yd	1,750	1,750
		Site Demolition	3.67 /acre	-	-	-	-	-	14,060.76 /acre	51,603	51,603
		Demo Curb & Sidewalk (Romana)	2,603.00 sqft	-	-	-	-	-	0.57 /sqft	1,485	1,485
		Demo Curb & Sidewalk (DeVilliers)	2,472.00 sqft	-	-	-	-	-	0.57 /sqft	1,410	1,410
		Demo Curb & Sidewalk (Intendencia)	2,956.00 sqft	-	-	-	-	-	0.57 /sqft	1,686	1,686
		Demo Curb & Sidewalk (Reus)	2,253.00 sqft	-	-	-	-	-	0.57 /sqft	1,285	1,285
311102	Grading	Grading	-	-	-	-	-	-	59,218	59,218	
		Building Pad Preparation	43,105.00 sqft	-	-	-	-	0.50 /sqft	21,642	21,642	
312202	Grading	Finish Grading	54,290.00 sqft	-	-	-	-	0.54 /sqft	29,135	29,135	
		Excavation	-	-	-	-	-	-	50,777	50,777	
312302	Excavation	Excavate to Fill	119.00 /cu yd	-	-	-	-	15.00 /cu yd	1,785	1,785	
		Fill Import	15,070.00 /cu yd	-	-	-	-	9.56 /cu yd	144,010	144,010	



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount
312602	Excavation	Erosion-Sedimentation Control	1,534.00 lnft	-	-	-	-	2.50 /lnft	3,836	145,795
		Erosion Control	14.00 mnth	-	-	-	-	107.14 /mnth	1,500	3,836
		Street Sweeping	3.00 mnth	-	-	-	-	500.00 /mnth	1,500	1,500
		Inlet Protection	7.00 each	-	-	-	-	220.00 /each	1,540	1,540
		Construction Entrance	1.00 each	-	-	-	-	3,500.00 /each	3,500	3,500
		Erosion-Sedimentation Control	-	-	-	-	-	-	-	-
		Soil Treatment	-	-	-	-	-	-	-	-
		Soil Treatment	43,105.00 sqft	-	-	-	-	0.15 /sqft	6,466	6,466
		Rammed Aggregate Piles	-	-	-	-	-	-	-	-
		Rammed Aggregate Piles	43,105.00 sqft	-	-	-	-	3.00 /sqft	129,315	129,315
320000	SITE CONSTRUCTION	BASES, BALLASTS, PAVING	-	-	-	-	-	-	568,847	568,847
		Asphalt Pavement	288.44 sqyd	-	-	-	-	2.00 /sqyd	577	577
		Grading (Romana)	288.44 sqyd	-	-	-	-	3.00 /sqyd	865	865
		12" Compacted Subgrade (Romana)	288.44 sqyd	-	-	-	-	12.82 /sqyd	3,698	3,698
		Asphalt 2.0" (Romana)	1.00 lsum	-	-	-	-	2,000.00 /lsum	2,000	2,000
		Pavement Patch (DeVillers)	45.00 sqyd	-	-	-	-	2.00 /sqyd	90	90
		Grading (Intendencia)	45.00 sqyd	-	-	-	-	3.00 /sqyd	135	135
		12" Compacted Subgrade (Intendencia)	45.00 sqyd	-	-	-	-	12.82 /sqyd	577	577
		Asphalt 2.0" (Intendencia)	40.00 sqyd	-	-	-	-	2.00 /sqyd	80	80
		Grading (Reus)	40.00 sqyd	-	-	-	-	3.00 /sqyd	120	120
321212	Asphalt Pavement	12" Compacted Subgrade (Intendencia)	40.00 sqyd	-	-	-	-	2.00 /sqyd	80	80
		Asphalt 2.0" (Intendencia)	40.00 sqyd	-	-	-	-	3.00 /sqyd	120	120
		Street Parking Relocation (Intendencia)	40.00 sqyd	-	-	-	-	12.82 /sqyd	513	513
		Grading (Auxiliary Parking)	1.00 lsum	-	-	-	-	2,500.00 /lsum	2,500	2,500
		Grading (Primary Parking)	879.11 sqyd	-	-	-	-	2.00 /sqyd	1,758	1,758
		12" Compacted Subgrade (Auxiliary Parking)	5,037.67 sqyd	-	-	-	-	2.00 /sqyd	10,075	10,075
		12" Compacted Subgrade (Primary Parking)	879.11 sqyd	-	-	-	-	3.00 /sqyd	2,637	2,637
		8" Graded Aggregate Base (Auxiliary Parking)	5,037.67 sqyd	-	-	-	-	3.00 /sqyd	15,113	15,113
		8" Graded Aggregate Base (Primary Parking)	879.11 sqyd	-	-	-	-	22.00 /sqyd	19,340	19,340
		Asphalt 2.0" (Auxiliary Parking)	5,037.67 sqyd	-	-	-	-	22.00 /sqyd	110,829	110,829
321312	Concrete Pavement	Asphalt 2.0" (Primary Parking)	879.11 sqyd	-	-	-	-	12.82 /sqyd	11,270	11,270
		Asphalt HD (Primary Parking)	5,037.67 sqyd	-	-	-	-	12.82 /sqyd	64,583	64,583
		Concrete Pavement	- sqyd	-	-	-	-	-	-	-
		4" Graded Aggregate Base (Compound)	8,987.00 sqft	-	-	-	-	1.67 /sqft	15,008	15,008
		4" Graded Aggregate Base (Loading Dock)	1,597.00 sqft	-	-	-	-	1.67 /sqft	2,667	2,667
		Concrete Pavement (Compound) 6"	8,987.00 sqft	-	-	-	-	6.89 /sqft	61,920	61,920
		Concrete Pavement (Loading Dock) 6"	1,597.00 sqft	-	-	-	-	6.89 /sqft	11,003	11,003
		Equipment Pads (Loading Dock)	750.00 sqft	-	-	-	-	6.89 /sqft	5,168	5,168
		Equipment Pads (Transformer)	140.00 sqft	-	-	-	-	6.89 /sqft	965	965
		321612	Concrete Pavement	Concrete Pavement	140.00 sqft	-	-	-	-	6.89 /sqft
Concrete Pavement	-			-	-	-	-	-	-	
Concrete Pavement	278.00 lnft			-	-	-	-	19.50 /lnft	5,421	5,421
Concrete Curb-Gutter (Romana)	30.00 lnft			-	-	-	-	19.50 /lnft	585	585
Concrete Curb-Gutter (DeVillers)	89.00 lnft			-	-	-	-	22.00 /lnft	1,958	1,958
Concrete Curb-Gutter (Intendencia)	51.00 lnft			-	-	-	-	22.00 /lnft	1,122	1,122
Concrete Curb-Gutter (Reus)	269.00 lnft			-	-	-	-	22.00 /lnft	5,918	5,918
Concrete Curb-Gutter (Auxiliary Parking)	946.00 lnft			-	-	-	-	22.00 /lnft	20,812	20,812
Concrete Curb-Gutter (Primary Parking)	524.00 lnft			-	-	-	-	22.00 /lnft	10,480	10,480



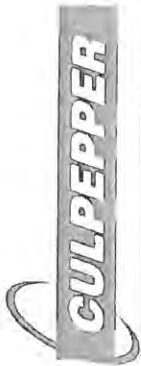
Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount	
321612	321612	Curbs-Gutters									
		Wheel Stops	50.00 each	-	-	-	-	45.00 /each	2,250	2,250	
		Curbs-Gutters									
		Sidewalks									
		Sidewalks (Romana)	2,603.00 sqft	-	-	-	-	4.91 /sqft	12,793	12,793	
		Sidewalks (DeVilliers)	2,472.00 sqft	-	-	-	-	4.91 /sqft	12,149	12,149	
		Sidewalks (Intendence)	2,956.00 sqft	-	-	-	-	4.91 /sqft	14,527	14,527	
		Sidewalks (Reus)	2,253.00 sqft	-	-	-	-	4.91 /sqft	11,073	11,073	
		Tactical Warning Strips	8.00 each	-	-	-	-	45.00 /each	360	360	
		Sidewalks (Site)	2,009.00 sqft	-	-	-	-	4.91 /sqft	9,864	9,864	
		Dumpster Pad	280.00 sqft	-	-	-	-	3.25 /sqft	910	910	
		321722	321722	Sidewalks							
Pavement Markings											
Pavement Markings (Auxiliary Parking)	1.00 lsum			-	-	-	-	450.00 /lsum	450	450	
Pavement Markings (Primary Parking)	1.00 lsum			-	-	-	-	1,800.00 /lsum	1,800	1,800	
Parking Signage (Auxiliary Parking)	2.00 each			-	-	-	-	150.00 /each	300	300	
Parking Signage (Primary Parking)	1.00 lsum			-	-	-	-	750.00 /lsum	750	750	
Handicap Symbol & Sign	7.00 each			-	-	-	-	350.00 /each	2,450	2,450	
Traffic Sign	4.00 each			-	-	-	-	150.00 /each	600	600	
Pavement Markings											
BASES, BALLASTS, PAVING											
SITE IMPROVEMENTS											
323000	32302			Fencing and Gates							
		Masonry Piers w/Precast Cap	34.00 lsum	-	-	-	2,496.00 /lsum	84,864	84,864		
		8' Aluminum Powder Coated Fence (Parking)	608.00 lmt	-	-	-	55.00 /lmt	33,536	33,536		
		Chain Link Fencing (SWMF)	- lmt	-	-	-	14.00 /lmt	0	0		
		Chain Link Fencing (Cages)	183.00 lmt	-	-	-	22.00 /lmt	4,026	4,026		
		Chain Link Fencing (Warehouse w/Gates)	63.00 lmt	-	-	-	22.00 /lmt	1,386	1,386		
		Chain Link Fencing (Gas Storage w/Gates)	12.00 lmt	-	-	-	50.00 /lmt	600	600		
		Chain Link Fencing - Segmental Wall	- lmt	-	-	-	14.00 /lmt	0	0		
		Sliding Gate w/Auto Operator (Loading Dock)	1.00 each	-	-	-	17,500.00 /each	17,500	17,500		
		Sliding Gate w/Auto Operator (Parking Lot)	2.00 each	-	-	-	17,500.00 /each	35,000	35,000		
		Man Gate w/Mag Lock & CR (Parking Lot)	1.00 each	-	-	-	4,000.00 /each	4,000	4,000		
		Sliding Gate w/Auto Operator (Compound)	1.00 each	-	-	-	17,500.00 /each	17,500	17,500		
Man Gate w/Mag Lock & CR (Compound)	1.00 pair	-	-	-	6,000.00 /pair	6,000	6,000				
323202	323202	Fencing and Gates									
		Retaining Walls									
		Segmented Retaining Wall	1,056.00 sqft	-	-	-	22.00 /sqft	23,232	23,232		
		Retaining Walls									
		Irrigation									
		Irrigation	28,550.00 sqft	-	-	-	0.72 /sqft	20,556	20,556		
		Landscaping									
		Sod & Groundcover	28,550.00 sqft	-	-	-	0.26 /sqft	7,530	7,530		
		Planting	28,550.00 sqft	-	-	-	2.14 /sqft	60,970	60,970		
		Landscaping									
		SITE IMPROVEMENTS									
		330000	331102	UTILITIES							
Site Water Lines											
Site Water Main to BFP	34.00 lmt			-	-	-	15.00 /lmt	510	510		
Street Open Cut & Repair	1.00 lsum			-	-	-	5,000.00 /lsum	5,000	5,000		
Tapping Sleeve & Valve	2.00 each			-	-	-	1,775.00 /each	3,550	3,550		
6" Fire Main	33.00 lmt			-	-	-	25.00 /lmt	825	825		
Backflow - Domestic	1.00 each			-	-	-	5,000.00 /each	5,000	5,000		
UTILITIES											
Site Water Lines											
Site Water Main to BFP	34.00 lmt			-	-	-	15.00 /lmt	510	510		
Street Open Cut & Repair	1.00 lsum			-	-	-	5,000.00 /lsum	5,000	5,000		
Tapping Sleeve & Valve	2.00 each			-	-	-	1,775.00 /each	3,550	3,550		
6" Fire Main	33.00 lmt	-	-	-	25.00 /lmt	825	825				
Backflow - Domestic	1.00 each	-	-	-	5,000.00 /each	5,000	5,000				
330000	330000	UTILITIES									
		Site Water Lines									
		Site Water Main to BFP	34.00 lmt	-	-	-	15.00 /lmt	510	510		
		Street Open Cut & Repair	1.00 lsum	-	-	-	5,000.00 /lsum	5,000	5,000		
		Tapping Sleeve & Valve	2.00 each	-	-	-	1,775.00 /each	3,550	3,550		
		6" Fire Main	33.00 lmt	-	-	-	25.00 /lmt	825	825		
		Backflow - Domestic	1.00 each	-	-	-	5,000.00 /each	5,000	5,000		
		UTILITIES									
		Site Water Lines									
		Site Water Main to BFP	34.00 lmt	-	-	-	15.00 /lmt	510	510		
		Street Open Cut & Repair	1.00 lsum	-	-	-	5,000.00 /lsum	5,000	5,000		
		Tapping Sleeve & Valve	2.00 each	-	-	-	1,775.00 /each	3,550	3,550		
6" Fire Main	33.00 lmt	-	-	-	25.00 /lmt	825	825				
Backflow - Domestic	1.00 each	-	-	-	5,000.00 /each	5,000	5,000				



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material Amount	Sub Price	Sub Amount	Total Amount	
331102		Site Water Lines									
		Backflow - Fire	1.00 each					12,000.00 /each	12,000	12,000	
		Backflow Assembly Cover	1.00 each					7,500.00 /each	7,500	7,500	
		Fire Hydrant Assemblies (Existing)	- each					- /each	-	0	
		PIV (Wall-Mounted)	1.00 each					3,000.00 /each	3,000	3,000	
		Fire Department Connection	1.00 each					3,000.00 /each	3,000	3,000	
		Site Water Lines							40,385	40,385	
		Natural Gas Service							3,000	3,000	
		Meter Set - Trade	1.00 each					- /inft	-	0	
		Gas Piping & Fittings	60.00 Inft					4,000.00 /sum	4,000	4,000	
Meter Set & Utility Connection Fees	1.00 Isum						7,000	7,000			
333102		Natural Gas Service									
		Site Sewer Lines									
		Sanitary Sewer Tie-In to Existing	1.00 Isum					2,000.00 /sum	2,000	2,000	
		Street Open Cut & Repair	1.00 Isum					5,000.00 /sum	5,000	5,000	
		Sewer Line (Gravity)	463.00 Inft					24.67 /inft	11,421	11,421	
		Clean-Outs	5.00 each					800.00 /each	4,000	4,000	
		Manhole	1.00 each					4,000.00 /each	4,000	4,000	
		Site Sewer Lines							26,421	26,421	
		Storm Drainage									
		12" RCP	120.00 Inft					42.00 /inft	5,040	5,040	
334102		18" - 24" RCP	1,170.00 Inft				53.68 /inft	62,800	62,800		
		Subsurface Effiltration System	11,652.00 sqft				14.65 /sqft	170,715	170,715		
		Type "E" Inlets	7.00 each					4,400.00 /each	30,800		
		Junction Box	7.00 each					5,500.00 /each	38,500		
		Division Box	3.00 each					5,500.00 /each	16,500		
		Trench Drain	72.00 Inft					- /inft	-		
		Tie-In to Existing	1.00 each					2,000.00 /each	2,000		
		Storm Drainage							326,355	326,355	
		UTILITIES							400,161	400,161	
		TAP FEES/SYSTEM CHARGES									
341113		Tap Fees/System Charges									
		Water Tap Fees	1.00 Isum					3,500.00 /sum	3,500		
		Water Meter Utility Meter Set Fee	1.00 Isum					2,000.00 /sum	2,000		
		Water Meter System Charge	1.00 Isum					3,500.00 /sum	3,500		
		Irrigation Meter Utility Set Fee	1.00 Isum					2,000.00 /sum	2,000		
		Gas Meter Set & Utility Connection Fee	1.00 Isum					4,000.00 /sum	4,000		
		Sewer System Charge	1.00 Isum					25,000.00 /sum	25,000		
		As-Built Surveys - Site Utilities	1.00 Isum					15,000.00 /sum	15,000		
		Tap Fees/System Charges							56,000	56,000	
		TAP FEES/SYSTEM CHARGES							55,000	55,000	

Estimate Totals

Description	Amount	Totals	Rate	Cost Basis
Labor	107,522			
Material	1,968,737			
Subcontract	23,020,414			
Equipment				
Other	25,096,672			
Labor Burden	26,880		25,000 %	C



Estimate Totals

Sales Tax	147,655			C
Sales Tax Savings	(376,450)		7.500 %	T
General Liability Insurance	94,248		(1,500) %	T
Builder's Risk Insurance	60,725		0.343 %	T
Surety Bond	164,677		0.221 %	T
Contingency	1,079,942		4.303 %	B
	<u>1,197,678</u>	26,284,350		T
CM Fee	1,183,246		4.500 %	T
Total		27,477,596		



Section Four

Potential VE Considerations

Alternates

1. Provide bullet resistant fiberglass sheet at building lobby in lieu of 12" thick reinforced cast-in-place concrete – Add \$132,149
2. Add wall guards where indicated – Add \$51,187
3. Add SpaceSaver metal evidence lockers as specified – Add \$315,930
4. Add Lift Arm gates inside of automatic sliding gates – Add \$54,607
5. Convert areas changed from epoxy flooring to resinous flooring back to epoxy flooring – Deduct \$37,000
6. Eliminate dock leveler – Deduct \$7,000
7. Use aluminum elevator sills in lieu of nickel silver – Deduct \$7,000



Section Five Schedule

Schedule

The current pre-construction and proposed construction schedule is attached. A milestone schedule is included, below.

Milestone	Dates	Duration (days)	Duration (months)
NTP	Tuesday, July 03, 2018		
Site Work Through Primary Building Pad (Includes Stone Columns)	Monday, September 24, 2018	83	2.7
Primary Frame Completed	Monday, January 28, 2019	126	4.1
Exterior Envelope	Friday, July 19, 2019	172	5.7
Interior & Systems	Tuesday, December 03, 2019	137	4.5
Substantial Completion	Tuesday, December 03, 2019	518	17.0
Commissioning and Close-out	Friday, January 17, 2020	45	1.5



Culpepper Construction Company, Inc.
Pensacola Regional Operations Center, FDLE
100% Construction Document Submittal Review
January 18, 2018

Section Six Attachments

Attachments

Attachment "A" - 100% Construction Document estimate is based on the drawings and specifications prepared by Rolland, Delvalle and Bradley, dated November 20, 2017.

Attachment "B" - 100% Construction Document Casework Matrix

Attachments "A" and "B" - REDACTED
119.071(3)(b)1 and 281.301 Florida Statutes