

Florida Department of Law Enforcement

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DATE:	October 4,	2019

SOLICITATION NUMBER: FDLE ITN 710:0268

SOLICITATION TITLE: Florida Department of Law Enforcement Lease Space Needs

Escambia or Santa Rosa County

REPLY OPENING: November 19, 2019, 2:00 P.M. E.T.

ADDENDA NUMBER: Two (2)

This addendum serves as notice of responses to questions received prior to and during the Pre-Bid Conference on September18, 2019 from potential Vendors relevant to the Invitation to Negotiate (ITN).

All other terms and conditions of the ITN remain unchanged.

THIS ADDENDUM NOW BECOMES PART OF YOUR REPLY RESPONSE.

THE ADDENDA ACKNOWLEDGEMENT FORM SHALL BE SIGNED BY AN AUTHORIZED COMPANY REPRESENTATIVE,

DATED AND RETURNED WITH THE REPLY RESPONSE.

ADDENDA ACKNO	OWLEDGEMENT .	
COMPANY NAME:		
FEDERAL TAX IDENTIFICATION NUMBER:		
ADDRESS:		
CITY:	STATE:	ZIP:
AUTHORIZED REPRESENTATIVE:	TITLE:	
AUTHORIZED SIGNATURE:	DATE:	
PHONE:	EMAIL:	

FAILURE TO FILE A PROTEST WITHIN THE TIME PRESCRIBED IN FLORIDA STATUTE 120.57(3) OR FAILURE TO FILE A BOND OR OTHER SECURITY WITHIN THE TIME ALLOWED FOR FILING A BOND SHALL CONSTITUTE A WAIVER OF PROCEEDINGS UNDER CHAPTER 120 FLORIDA STATUTES.

Florida Department of Law Enforcement

ITN 710:0268 – Escambia and Santa Rosa County Vendor Questions Posed Prior to and During the Pre-Bid Meeting on September 18, 2019 Written Answers October 4, 2019

- Question 1: Please confirm for the Option 1 an existing building the Performance Bond is not required as implied on page 16 of the ITN. This appears to add an unfair advantage for the new building offeror. Risk for each type of offer do exist?
- Answer 1: A Performance Bond is not required for existing buildings.
- Question 2: Pg 20 of the ITN for non-existing buildings to furnish 100% Performance Bond, confirm this is only for the tenant improvement and not the entire building as implied
- Answer 2: The Offeror shall submit a performance bond in the amount of 100% of the value of the tenant improvements required to complete the project. The tenant improvements cost shall be documented by an itemized construction cost detail worksheet for the project which has been prepared, dated and certified by the Offeror.
- Question 3: Pg 24 Confirm the occupancy move in date of October 1, 2022, does not refer to the date of temporary or final certificate of occupancy but the time the tenants can start moving in and not actually occupy for actual business functions.
- Answer 3: The Lease Commencement Date is to be October 1, 2022. The proposed space is to be made available August 1, 2022 at no costs to FDLE in order that they may begin moving some of their existing furniture and equipment into the space. It is expected that the Lessor will have the Temporary or Permanent Certificate of Occupancy by August 1, 2022.
- Question 4: Pg 28 of the ITN states 30 spaces in the secured parking area, while on pg 28 of the program requirement sheet calls for 15 parking spaces
- Answer 4: The request is for space for 30 vehicles within the Secure Compound (4 of which will be covered for over-sized vehicles), plus 2 cages described in the ITN.
- Question 5: Pg 28 states 4 spaces for each 1,000sf, please confirm this is per the rentable sq footage and not the overall sq footage of the building or buildings?
- Answer 5: Will be addressed within an Addendum to the ITN document.
- Question 6: Pg 44 references the Tennant Improvement Allowance. Please confirm the \$0.40 per sq ft is to be included every year, including the first year as well.

- Answer 6: Starting in Year One of the Lease, awarded Lessor is to provide \$0.40 per square foot per year into an escrow account to be utilized for tenant improvements at the Agency's discretion.
- Question 7: Pg 48, confirm the ornamental metal fence is at the perimeter of the staff parking or is the fence to be at the site perimeter or both?
- Answer 7: At the perimeter of the staff parking.
- Question 8: What is the number of staff parking to be in the secured area?
- Answer 8: The projected staff size is about One Hundred Seventy (170) persons (includes four (4) spaces for contributors).
- Question 9: Is the access into the complex secured?
- Answer 9: Secured access to staff parking but open access to the public parking and to the main lobby. All exterior doors to the building will require electric strikes and card access. The access to the Loading Dock area will also be secured by a rolling, motorized gate and with secure card.
- Question 10: What is the number of visitor parking that is not to be in the secured area?
- Answer 10: Sixty (60)
- Question 11: Pg 58 Future Expansion For building purposes now, we assume the parking area can be moved if this 6,000sf space is ground level?
- Answer 11: Second floor on the 100% construction documents. If other plans are used, the expansion space will be for the Biology Lab.
- Question 12: Does the proposed floor plan show this future lab area to be ground level or on an existing roof structure?
- Answer 12: Second floor on the roof structure on the 100% construction documents.
- Question 13: We understand a complete design of the building and site has been previously prepared.
 - a. What is the total acreage needed for this approach? Acreage w/ dimensions to show what size and shape of site is ideal will be helpful. What was the amount of parking spaces proposed in this plan, so ample space comparison can be made?
 - b. Is the desire to have all the program space into one, two, or three buildings?
 - c. Would all the buildings need to be connected with covered walkways?
 - d. Is the proposed program that has already been devised, the desired approach, if so, can the drawings and / or part of the drawings be provided prior to the meeting to see if we are interested in utilizing this program? Time is of the essence.
 - e. Is this proposed design been done in Revit or some other 3D modeling program?
 - f. What was the construction budget of the proposed project? When was the budged created? Can a cost breakdown of the proposed approach

- be provided for some quick analysis to see if the numbers will work for the lease?
- g. Is there a chance the agency did pay for the services previously provided to where these drawings can be made available to all interested parties?
- Answer 13: a. FDLE estimates that a minimum of 4 acres of buildable land will be required in order to build the 100% construction plans and contain all parking onsite. A larger parcel may be required if local jurisdictions require onsite retention/detention facilities, or if the building is redesigned to be only one or two floors.
 - b. The desire is for one building, except for the separate warehouse.
 - c. If multiple buildings are proposed, all walkways shall be enclosed, airconditioned walkways to connect all but the warehouse.
 - d. Plan reviews were scheduled for September 19 and 20, 2019. If additional reviews are required, please contact the Tenant Broker.
 - e. No
 - f. Provided at the conclusion of this Question and Answer document is the 100% construction documents cost analysis provided by Culpepper Construction in January 18, 2018. This cost analysis document is not a part of the formal ITN documents, and its content should not be construed as supplementing or modifying any of the ITN documents. This document outlines a single company's broad conceptual overview of the project, as envisioned by it, at a specific point in time in the past. Each Proposer is solely responsible for its decision(s) regarding whether and how to use any information in this document in any way.
 - g. Due to the nature of FDLE's business, the 100% construction documents are deemed confidential. The 100% construction documents are available, at no cost, to the awarded Offeror, upon written approval by Rolland Architecture. However, as stated above the 100% construction documents are available for viewing, as provided in section II. C.
- Question 14: Pg 62 states to provide a chilled and hot water heating system with 75% redundancy for the chiller, is the chiller system the only option for the HVAC system for the building? For cost, maintenance, and comfort, there are other mechanical system options we would like to consider.
- Answer 14: Chillers are required
- Question 15: Pg 63 Storm Drain Piping states to be cast iron pipe with joint restraints on 6" and larger pipe. This is typically not a requirement in Santa Rosa or Escambia Counties. It is likely any existing site the storm will not be done in cast iron pipe.

- Answer 15: Cast iron piping is to be used for storm water piping inside the building and to a point five feet outside the building. PVC piping is to be used for storm water piping outside the building. The actual storm structures and piping are to be RCP-reinforced concrete pipe.
- Question 16: Pg 85 states to provide and maintain 2- bi-fuel generators. Please confirm the fuel usage during emergency operations will be reimbursed to the landlord or paid by the agency.
- Answer 16: Generator fuel reimbursement only applies under a declared State of Emergency issued by the Governor and FDLE Commissioner. All other fuel usage will be the responsibility of the awarded Lessor.
- Question 17: Please clarify the layout of the 2 20x30 x 8ft chain link fences inside the 10' CMU area?
- Answer 17: Located at the end of the secure compound for storage of confiscated crime scene vehicles.
- Question 18: Are there any criteria for the exterior finishes on the buildings, or is this owner option?
- Answer 18: Exterior materials on the 100% construction documents were brick and cast stone. Materials must be durable, easily maintained and commensurate with the character of a Class A office building.
- Question 19: Schedule: with the dates shown w/ responses to questions and the due date, doesn't not leave much time for someone starting from scratch. Is the end date that set in stone, that more time could be given on the proposal for one to consider developing a plan that may be less expensive? We feel w/ the market in Pensacola, any cost given a year ago, may be hard to achieve.
- Answer 19: FDLE has reviewed the timeline in comparison with recent ITN procurements that also allowed for existing building proposals and non-existing (build-to-suit) proposals at similar size needs. FDLE determined the response timeline is reasonable as it is consistent with such procurements. Scheduled timeline will not be modified at this time.
- Question 20: If the prepared design's construction cost is near \$40,000,000, it is likely the rent could be over \$45/sf. Is this within the state's budget? If not, what is the proposed budget for rent?
- Answer 20: There is not a defined proposed budget for rent. Under a competitive solicitation, the goal is to achieve the best leasing value to the State. Offers will be compared against one another as well as considered based on market rates. The recommended Offeror's pricing will be reviewed with the Governor's Budget Office and is subject to legislative budget approval as outlined in the State's standard lease document (page 107 of the ITN, Section 18).

Questions asked during the Pre-Bid Meeting on 9/18/19

- Question 21: Was there a reason for stopping at 9 mile road?
- Answer 21: Boundaries were considered and designed to allow accessibility on and to main thoroughfares within the region. 9 Mile Road was determined to be the northern boundary in Escambia County that allowed for the accessibility that FDLE is seeking.
- Question 22: Confirm the need for 4/1,000 parking spaces and the additional 30 parking spaces?
- Answer 22: The agency has determined that a total of 260 parking spaces (including ADA spaces) are required. Thirty (30) spaces within the compound, One Hundred Seventy (170) for staff parking and Sixty (60) spaces for visitors. FDLE will provide an addendum to the ITN for this requirement.
- Question 23: How soon will FDLE provide answers to proposed questions?
- Answer 23: FDLE will make every effort in providing responses as timely as possible.

 Note: some responses may take additional time due to the technicality of the question.
- Question 24: What services will be required on August 1, 2022?
- Answer 24: The following services are expected to be completed by August 1, 2022; Security Vendor must have all card readers and cameras installed and operational and all telephone and technology wiring and IT racks installed.
- Question 25: Would there be a problem with a single story building?
- Answer 25: The offering of a contiguous single-story building does not appear to be a problem.
- **Question 26: Is a Chiller System required?**
- Answer 26: See above answer to question 14.
- Question 27: Is there a cost for the existing construction documents?
- Answer 27: See above answer to question 13 (g).
- Question 28: Is there a preference on locations in downtown? Would that be weighed in scoring?
- Answer 28: There is no preference in location, but the proposed location is weighed. See page 30 of the ITN for Evaluation Criteria.
- Question 29: Minimum acres Is less than 4 acres acceptable?
- Answer 29: See above answer to question 13 (a).
- Question 30: What costs to take the drawings to the next step?

- Answer 30: The existing 100% construction documents are available, at no cost, to the awarded Offeror, upon written approval by Rolland Architecture. The 100% construction plans will require updating to meet the new building code. Rolland Architecture will provide all Offerors the same price for this service, to include architectural, mechanical, plumbing, electrical, information technology, landscape architecture and structural disciplines. Costs for changing the building must be borne by the Offeror. Costs for civil engineering must be borne by the Offeror and may vary based on the specific site requirements.
- Question 31: The square footage reflected in the Program Area Requirements differs from the requested square footage within the ITN document and the 100% construction documents.
- Answer 31: The 84,000 90,000 requested square footage identified within the ITN and the 100% construction documents is the <u>Gross</u> square footage, which will be addressed within an Addendum to the ITN document. The 65,516 square footage shown on the Program Area Requirements uses inside dimensions and does not include walls, stairs, bathrooms, elevators, etc.

100% CONSTRUCTION DOCUMENTS

100% CONSTRUCTION DOCUMENTS REVIEW PENSACOLA REGIONAL OPERATIONS CENTER

PENSACOLA REGIONAL OPERATIONS CENTER FLORIDA DEPARTMENT OF LAW ENFORCEMENT PROJECT NO. 2016-032 Pensacola, Florida January 18, 2018



CULPEPPER

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Section One Summary & Budget Analysis

Summary

Culpepper Construction Company is pleased to provide the Project Team with our review comments to the 100% Construction Document submittal for the construction of the Pensacola Regional Operations Center for FDLE, dated November 20, 2017. The following comments are provided to ensure the completeness of the construction document submittal and conformance to project budget established for this project.

This review document includes a complete cost analysis, potential alternates, our assumptions and clarifications considered in the preparation of the 100% CD cost estimate for the project. The cost estimate provided herein assumes commencement of construction September 2018 and continuing through the first quarter of 2020.



Section Two Clarifications | Assumptions | Exclusions

Clarifications and Assumptions

Project Areas

The 100% CDs present an 84,077gsf project. This gross building area remains unchanged from the 50% CD submittal.

Project Area Analysis

		В	uilding Gross	Areas		Livery.	Elevated	
Floor Level	Main Bldg.	Training	Crime Scene	Warehouse	Total	Occupied Space Total	Building Structure	Roof Areas
Basement					0	0	0	
First Floor	24,168	5,320	7,617	6,000	43,105	43,105	0	24,409
Second Floor	18,696			-	18,696	18,696	18,696	1,824
Third Floor	16,872				16,872	16,872	16,872	11,468
Mech. PH (4th)	5,404				5,404	0	5,404	5,404
Totals	65,140	5,320	7,617	6,000	84,077	78,673	40,972	43,105
% of Total	77.48%	6.33%	9.06%	7.14%	100.00%	93.57%	30,000	100

General Comments

- The project is anticipated to seek and obtain LEED certification. LEED registration and certification expenses are not included in the estimate.
- 2. Concrete specifications (03 30 00; 1.3; A) state that "the owner will employ and pay an independent testing laboratory to perform concrete testing". This is not consistent with the rest of the specifications. The estimate includes the cost of concrete materials testing.
- There has been discussion about the requirements for the generators to provide enough fuel for an extended operation period. The plans and specifications are not clear as to the fuel tank capacities required for this equipment.



SITE PLANS - CIVIL / LANDSCAPING

1. C-101: Site Demolition Plan:

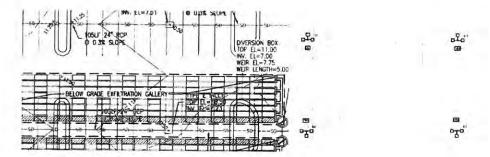
- Estimate Note: This drawing is indicating the complete removal of sidewalks around the
 perimeter of the site. (Earlier estimates assumed that the sidewalks would only be
 replaced as required to complete the new construction)
- Overhead Power at perimeter: In previous estimates, we anticipated that requirement for overhead power relocation and had included its cost in the earlier estimate revisions. On Drawing C-101 of the 100% CD submittal, drawing note indicates that this work is "by Others". Based on this note the cost of this work has been deleted from the estimate. The coordination of this work remains with the scope of the work.
- Demolition of Curbs at Intendencia and De Villiers Street is not indicated and should be added to this plan.

2. C-102: Control and Staking Plan:

- Provide E-W Controls for parallel parking at Romana Street
- Main Parking Lot N-S Controls required.
- Provide controls for retaining wall adjacent to the Intendencia Street parking lot.

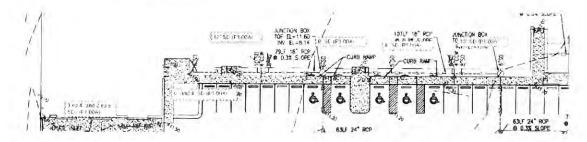
3. C-103 Grading and Paving Plan:

 Parking lot light pole base locations conflict with the storm drain layout, both are centered. (Reference E1.11, C-104)



Coordinate C-103 and Plumbing P1.00A:

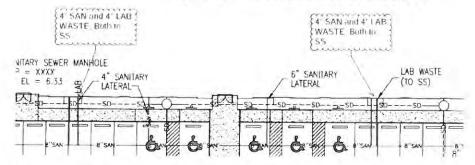




- Storm Drain from Warehouse is one 6" SD and three 4", reference P1.00B. We recommend adding a manhole to enable the termination of these to the 12" RCP.
- Provide a structure schedule for the storm structures.

4. C-104 Utility Plan

- Missing Top of Manhole elevation adjacent to building
- Lab waste and adjacent sanitary waste not clearly defined on this sheet.



5. A1.00 Architectural Site Plan

- Dumpster Enclosure:
 - Consider the retaining wall and grade differential. If this is only location, then a ramp should be provided from the upper parking lot elevation to the lower.
 - Coordinate the size of the enclosure, the civil and architectural show different sizes.
- Align the ornamental fence with the top of the retaining wall near the dumpster enclosure.
- Size of chain link fencing adjacent to warehouse.
- There is a lift arm gate and automatic sliding gates at the main entry. Are both needed?
 An add alternate is provided for the Lift Arm Gates.



- Provide a Lift Arm Gate Specification.
- Rough-in/Power is not shown for automatic sliding gates.
- Pedestrian Gate hardware specified and rough-in indicated on electrical.
- No flag poles are currently shown on the drawings. Estimate includes (3) flag poles and bases.
- Verify that these gate assumptions are included in the docs:
 - Loading Dock Sliding Gate with Auto Operator
 - Compound Sliding Gate with Operator
 - Warehouse Interior Chain Link Fencing & 2 Gates
 - Gas Storage Fence & Gate

6. General Site Related Comments

- Plans for Below Grade Exfiltration system will be required.
- The trench drains at the warehouse and garage entrances are not scheduled on either the plumbing or civil documents.
- Storm and Sanitary crossing elevations have been verified, no conflicts uncovered.
- The sidewalk detail on C-900 calls for sealant at expansion joints. Verify this requirement.
- Parking Lot Signage, other than handicapped signage, is not detailed or specified. The balance needs to be incorporated into the documents.
- 7. Soils beneath the 3-story building structure will be improved through the utilization of vibro-replacement (stone columns).

ARCHITECTURAL PLANS

A1.00

Canopy (in compound). This drawing references structural drawings, which on S1.2C provide a framed structure and 1.5" metal roof deck. Additional details, specifically related to the roof component of the canopy are required.



A1.01A

Identify the limits of the concrete pavers at the front entrance. Reference detail 4/A4.01

A1.01B

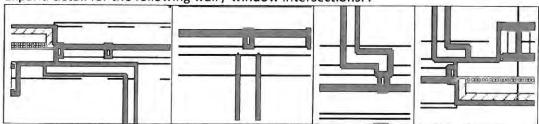
No details are provided for the operable walls at the training rooms.

A1.01C

- Call out loading dock bumpers.
- Specification Section 11 16 19 Dock Levelers is included in the project manual. There is no indication at the loading dock area of this equipment being installed.

A1.02

Expand detail for the following wall / window intersections:4



Please provide details for the 42" high walls in space 2100 and 2117.

A1.05

Label overflow scuppers shown for 2nd floor roof on west side

A1.11B

Rooms 1201 and 1210 appear to show a base cabinet in the vestibule. These cabinets are
not indicated in the millwork elevation sheets. Estimate includes a "vanity-style" cabinet
top in these areas.

A1.21A

- Add floor finish for elevator cabs. Estimate assumes that they will match the flooring in the 1st floor corridor adjacent to the cabs.
- Sheet is named "First Floor Furniture Plan Part A".

A1.24

Add designation for stairs 4007 and 4011 "SC-2".



A1.31A (Applicable to all RCPs)

- Provide elevations of all Gypsum Board Ceilings.
- Any special treatment required for the exposed ceilings in the vault, spaces 1504 and 1505?

A131B

- The ceiling height in the training room is only 9'6". Looks low for this size space.
- Exterior Soffits Note reads "stucco". It would be more efficient to use the EIFS finish (similar to the mechanical penthouse) in these areas.

A1.31.C

Loading Dock, on this sheet the legend calls the symbol used as gypsum board ceilings.
 This should be the exterior finish application.

A1.32

Partitions in Room 2100, do not match up with floor plan layout.

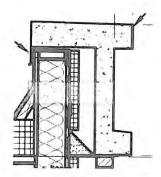
A2.11

 Detail 6/A2.11 Elevation of man-gate needs to accommodate electrified hardware for access control.

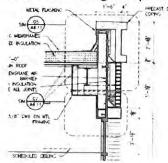
A4.01

- Section 04/A4.01 | Floor 2 window head at entrance: Details indicates that wind load of the window at the head is picked up by the suspended precast. Consider providing direct framing for window head to building structure.
- Coping detail will be multiple pieces of precast consisting of horizontal coping and vertical panel.
- Window blinds and/or blind pockets are not indicated in the drawings or specifications.
 The estimate includes a budget for blinds at storefront windows.
- Wall sections don't reference the air barrier specified in 072713. [would like to propose changing to a fluid applied air-barrier in lieu of the rolled product specified].
- Overflow Scuppers Location: Please review/Confirm the overflow scupper location.





- Detail Below: Why are we framing and wrapping this beam? Ceiling intersects window @ mullion.
- Detail Below: Is glass spandrel over horizontal mullion?

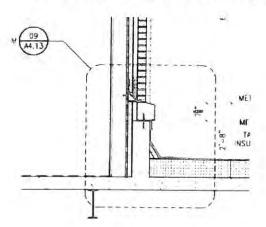


A4.02

Detail 5/A4.02: Add embedded angle into slab at loading dock.

A4.04

Confirm that the concrete curbs (09/A4.13) show up on the structural plans.





A4.11

- Detail 02/A4.11 Delete 2nd steel angle above precast verify alignment with the balance of the relief angle at this location. [Detail 15/A4.13 sim]
- Detail 03/A4.11 Precast Section to be 2 pieces.

A6.31

- Plan references to section 05/A6.32 should be 05/A6.31.
- Section 05/A6.31, outer wall is detailed as concrete. Revise detail to precast clad wall to match elevations.

A7.11

- Sections 01/A7.11 and 03/A7.11 show the base cabinets as 2'-0" wide, but the plan view (A1.11C) scales out to 3'-0" wide.
- Cabinet sections refer to elevations for countertop material. Elevations do not indicate required material (typical for all millwork sheets).

A8.01

- General Note Provide head and Jamb references.
- Doors 1000 and 1811A should be ballastic rated doors.
- Doors in demountable partitions should be so noted in schedule with appropriate details referenced.
- Doors pairs on schedule do not indicate type, material, or frame information.

A8.21 Note references Sheet A8.11 for details, should be A8.31.

Identify glass types and spandrels in glazing elevations

A9.11

- Finish selections not provided (Verify with specification manual)
 - Epoxy Flooring
 - ESD/Anti-Static Flooring
 - LVT Estimate assumes a Shaw "Bosk Pro" 20 mil. product.
 - Porcelain Tiles PT-1 through PT-4 Estimate assumes Florida Tile "Continent" or "Formations"
 - Rubber Flooring Estimate assumes "Armorium 3/8" roll rubber.



January 18, 2018

- Resin Flooring Please select another product, preferably a Stonhard product as basis of design.
- Carpet 1-4 Estimate assumes a Shaw "Color Form" product.

Architectural General Notes

- Identify the location of fire extinguishers on the plans. Quantity of 47 in specifications seems excessive.
- No wall section found for the penthouse wall. Assume concrete curb required @ base per structural detail 5/S6.3.
- Provide a signage plan for the project.
 - o Directory
 - Building Plaque
 - Interior signage
 - Exterior signage
- We anticipate creating a bid alternate for the roofing contractors to price tapered insulation as an alternate.
- Acoustical wall treatment was previously assumed in the Training Building multi-purpose rooms.
- Three (3) recessed projection screens (and whiteboards) were anticipated at the 50% document phase. Don't find any on the 100% CDs, are they required/desired?
- Four (4) residential-type refrigerators and microwave ovens are included for the employee break rooms.
- Explosion proof walls were anticipated at the gas storage area. Wall type is shown as type
 1 CMU partition. Does this meet the requirement?

STRUCTURAL DRAINGS

\$1.1A

- Elevator footing at 6/B-C is not labeled or indicated on the footing schedule. There is no section in this area, either, indicating size, thickness, or reinforcing.
- Ramp wall footing is shown in section 10/S2.2, but is not indicated on Foundation Plan (S1.1A).



Wall footing along line 2.0 is labeled "WF3.0", but scale drawing indicates that it is 4'-0" wide.

S1.1C

The slab on grade and pads around the chillers and generator are not defined.

S1.2A

- Provide curb detail reference between grids 6 and 7 on "A" and "D" lines. See architectural wall sections.
- TOF ELEV should be 14'8" not 114'8"

S1.2B

Provide supports for operable partitions in training rooms.

\$1.4

Please denote detail 5/S6.3 at all four walls of the penthouse.

56.2

Details 9 & 10: Roof Screen wall. Where does this apply?

MECHANICAL

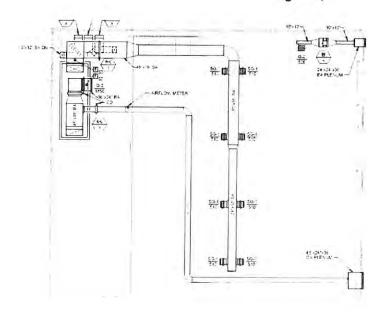
M1.01A

Route 50x16 SA south to avoid conflict with Ballistic wall @ 1813.



M1.02C

Warehouse - Move outside to west building face, shorten run





Exclusions

The following items have been excluded in their entirety from the construction cost estimate provided in this review.

- 1. This estimate does not include the costs associated with threshold inspection services.
- The estimate excludes all costs associated with site permitting, concurrency fees, or other governmental fees not associated with tap fees, sewer and water systems charges, and building permits.
- 3. This estimate assumes that there are no contaminated soils that require removal from the site.
- Provisions for any window washing equipment supports are not included in accordance with previous discussions.
- The high density filing system on the first floor is assumed to be a part of the Owner's furnishing package. We have included the thickened slab and the installation of the floor tracks within the schematic estimate.
- 6. The filtered cabinets anticipated for the "Super Glue Processing" space are assumed to be furnished by the Owner.
- 7. Exterior signage, including monument signs but not including parking lot traffic signage, are not included in the estimate.
- The estimate excludes broad band cabling systems, closed circuit television systems, secondary internal security access control systems, sound systems, and audio visual systems.
- The estimate excludes the metal evidence lockers. An add alternate is provided in Section Four.



Section Three 1000% Construction Document Cost Estimate

100% Construction Document Cost Estimate

See 100% Construction Document cost estimate, attached.

ESTIMATE TRACKING SUMMARY

Estimate	Date	Estimated Cost	Area	Unit Cost
Program Estimate	10/24/2016	\$21,958,764	77,866	\$282.01
Program Estimate	11/17/2016	\$20,521,866	64,398	\$318.67
Program Estimate	11/17/2016	\$23,127,805	75,436	\$306.59
Program Estimate	12/8/2016	\$19,369,538	63,398	\$305.52
Schematic Estimate - Building	4/28/2017	\$24,551,235	82,880	\$296.23
Design Development Estimate - Building	6/29/2017	\$26,449,851	84,077	\$314.59
50% CD Estimate - Building	10/12/2017	\$27,000,042	84,077	\$321.13
100% CD Estimate – Building	01/18/2018	27,477,596	84,077	\$326.82
Other:				
Precon Fee (included in Program Estimate)		\$156,188	84,077	\$1.86
Chappie James		\$1,358,375	84,077	\$16.16
Total Project - Construction		\$28,992,159	84,077	\$344.83

A detailed variance report showing the changes between the 50% and 100% CD estimates is attached.



dnoug	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
010000		GENERAL CONDITIONS					Thomas and the same of the sam			
	100010	Supervision & Management Staffing								
		Project Staffing	18.00 mnth	- /moth				A6 538 11 January	000	
	610024	Supervision & Management Staffing							819,686	819.686
		Set-up, Demobilize	does 00 L	14						
		Field Office Trailer Rental	17.00 moth			1,500,00 /each	1,500		ı	1,500
		Field Office Sundries	17.00 mpth			400.00 /mnth	6,800		,	6,800
		Field Office Copier Lease	17.00 mnth		•	15.00 /mmin	1,275	í		1,275
		Fumishing	Tust 00 t			280.00 /mnth	4,760	i	Ė	4,760
		Storage Facilities	17.00 mnth		•	mush 00.00c, r	1,500		1	1,500
		Electrical Hook-Up	mosi oo r		6. 0	750.00 /mnth	2.125		•	2,125
		Electrical Monthly	17 00 mmth		0 -0	musi op.oc	750			750
		Water/Sewer Hook-Up	1 00 lsum	- 4				425.00 /mnth	7,225	7,225
		Water/Sewer Monthly	17.00 muth			musi/ 00.00c	200			200
		Holding Tank Rental Service	17.00 moth			200.00 /mnm	3 400		j.	3,400
		Janitonal	17.00 meth	p		200.00 /mnth	3.400			3,400
		Office Equipment	1 Of learn	£ .	•		1	525.00 /mnth	8.925	8,925
		Security	17 00 moth	W. 17		500,00 Asum	200		, c	500
		Postage & Shipping	17.00 00.11	•	•			100,00 /mnth	1,700	1,700
		Field Offices	Daniel Co. C.	,	•	108.25 /mnth	1.840		•	1,840
	010037	Site Phones					28,350		17,850	46,200
		DSL Service	17.00 mmth			00 100	1			
		Mobile Phones	17.00 mnth			05.00 /mnth	2,125		7	2,125
		Web Enabled Project Camera	17 00 mnth			110m/ 00.55	21,615	Ŀ	4	1,615
		Site Phones				MUMI 00.612	4,6/5	*		4,675
	010052	Site Maintenance					8,415			8,415
		Project Sign	1.00 each	200.00 /each	200	1 500 00 Jeach	1 500			
		Periodic Clean-Up	73.61 week	650.00 /week	47 847	00000	DOE.	χ) :		1,700
		LEED Waste Management	17.00 mnth			250.00 /moth	, 250 k	× :	je	47,847
		Dumpster Pull Fee	78.00 each			375 00 /each	057.80	0.5	•	4,250
		Dumpster Tipping Fee	78.00 each			375 00 (Pach	05,62		,	29,250
		Final Clean-Up	84,926.00 sqft				007:07	Best 30 0	1 000	29,250
		Glass Cleaning	7,152.00 sqft					1981 CZ.0	267.72	7,232
		Site Maintenance			48,047		64 750	200	200.2	2,303
	010010	Temporary Utilities							661,63	136,631
		Electrical Connection	1.00 Isum	4		*		2 500 00 Asum	0 500	003.0
		Floating Unity Fee (1st 1/4)	4.25 moth	Ý		750,00 /mnth	3,188		2001	3 188
		Florings Unity Fee (218 1/4)		•		2,500 00 /mnth	10,625	4		10 625
		Flectical Unity See (Flection Commonstrate	4.25 mnth	4		7,500.00 /mnth	31,875	4	19	31.875
		Temp Tollet 6/mpth	mum 62.4	L I	1	10,000.00 /mnth	42,500		0	42,500
		Drinking Water & Ice	17.00 000			570,00 /mnth	9,690			069'6
		Temp Fire Protection	17 00 each		1	180.00 /mnth	3,060			3,060
		Temporary Utilities	300		+	65.00 /each	1,105	Ā	9	1,105
	010084	Safety					102,043		2,500	104,543
		Temp Site Fencing	1.540.00 Inft							
		Temp Site Fence Windscreen	1,540.00 Inft					3.50 Ann	5,390	5,390
		Temp Site Fence Gates	2.00 each					TUI 00.0	5,390	5,390
		Temp Fence Maintenance	17.00 moth			50 00 /moth	. 059	700.00 /each	1,500	1,500
		Bulletin Board	1.00 each	100,00 /each	100	200.00 /each	200	SOCIO IMPIN	3.400	4.250
		Penmeter Protection	478.00 Inft	1.00 Anft	478	5.00 Anft	2.390			300
		rame Control	73.61 week	550.00 /week	47,847			•		47 847
		Pedestrian Control/Protection	17.00 mnth							140.14



17.00 17.0	Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
Transition Tra		010084	Safety								
Function Prince 1000 Princ			First Aid Eqpt	17.00 each		٠	35.00 /each	595		,	595
			Temporary Stairs	4.00 fir	250.00 /flr	1,000	1.000.00 //fr	4 000	1		2000
Deciminal Integration 11,00 each 15,00 min 15,			Safety			49,426		8,036		41 180	9.000
Control Description		010184	Document Management								10,00
Octobact Description Descrip			Job Progress Photographs	17.00 each			25.00 /each	425			425
Colorate Management			Coordination Drawings	1.00 Isum		1			10,000.00 Asum	10,000	10,000
Control Endows Cont			Document Management					425		10,000	10.425
Chair Land Control C		010192	Layout & Engineering								
Color of the property Colo			Establish Building Controls	1.00 Isum	,		*		5,000.00 Asum	2,000	5,000
Control Exemplement			Const Layout by PLS	1.00 Isum		ū	7		5,000.00 Asum	5.000	9,000
1,100 min 1,000 min 1,00		101010	Layout & Engineering							10,000	10,000
Collection Col		181010	Equipment								
17.00 mmth 25.00 mmth 25.			Small Tools	17.00 mnth			1,000.00 /mnth	17,000	à		17,000
Concerned Substitution Concerned State Con			Oll & Gas	17.00 mnth	•	•	500.00 /mnth	8,500		1	8,500
CONCRETE COUNTY Concrete Management			רחן	17,00 mnth					2,257.50 /mnth	38,378	38.378
Act of the Control		010010	Equipment					25,500		38,378	63,878
CONCRETAL CONDITIONS 2.00 set 1500 to test		017010	Closedul Annual Control of the Contr								
CONCERPLACE CONDITIONS STATE STA			Closeout	2.00 set	•		ì	ì	1,500.00 /set	3,000	3,000
CONCRETE			CENEDAL CONDITIONS							3,000	3,000
Controlled Subcontration 100 lsum 1,00 lsum 1,	00000		SENERAL CONDITIONS			97,471		237,018		966,328	1,300,817
Concerts Subsciringted 100 Isum 100 Is	20000		CONCRETE								
Contracted Con		030005	Concrete								
11.14 11.14			Concrete	musi oo L		+	1-	P	989,479.00 Asum	989,479	989 479
Insulating Concrete Roof Deck 39.807 00 sqn Insulating Concrete Roof Deck 39.807 00 sqn Insulating Concrete Roof Deck 39.807 00 sqn Insulating Concrete Roof Deck S64.78 m S64.78 m S64.78 m S67.89 00 sach S67.82 m S66.78 m S66		035300	Insulating Concrete Roof Deck							989,479	989,479
CONCRETE			Insulating Concrete Roof Deck	39,607.00 sqff						120 674	200 007
Action Concapt			Insulating Concrete Roof Deck							138.626	138,625
MASONRY 042100 Face Brick 54.78 m 364.78 m 243.506 1,722.31 m Concrete Masonry Units S7.729.00 each 364.78 m 54.86 m 1,722.31 m Concrete Masonry Units S7.729.00 each 36.729.00 each 34.96 feach 317.107 13.02 feach Concrete Masonry Units S7.729.00 each 226.00 mt 34.95 feach 724.810 17.36 feach Constitution Machine Cast Stone 226.00 mt 226.00 mt 34.95 feach 17.36 feach MAETALS METALS METALS 17.28.50 feach 17.38 feach 17.38 feach Structural Familing Amail Building 70.429.00 saft 10.20.00 saft 1.28.80 feach 17.38 feach Structural Familing Structural Familing 39.00 each 35.00 leach 1.385 150.00 leach 5.550 Boillards Grobe Entiret 5.550 1.365 1.365 3.500 leach 5.550 Loose Linets Linets 5.550 5.550 1.365 1.365 1.365			CONCRETE							1 128 104	1 128 104
Concrete Masonry Units S4.78 m S67.82 /m Z43.606 1722.31 /m	40000		MASONRY								
Concrete Masonry Units Concrete Masonry Units S4 7729 00 each S5 7729 00 each S6 782 m S4 566 1722.31 m Concrete Masonry Units S7 729 00 each S7 729 00 each S7 729 00 each S6 782 m S7 729 00 each S6 782 m S6 782 m S7 729 00 each S6 782 m S6 782 m S7 729 00 each S6 782 m S8 7		042110	Face Brick								
Control Masony Units S7729.00 each S48 /each S7740.0			Common Brick	364.78 m	·	•	667.82 /m	243,606	1,722.31 /m	628,265	871,871
Caronere Masonry Units Cast Stone Precast Treads - In Cast Stone Cast Stone Cast Stone Precast Treads - In Cast Stone Cast Cast Cast Cast Cast Cast Cast Cast		042202	Concrete Masonry Units					243,606		528,265	871,871
Concrete Masonry Units Cast Stone Cast Stone Precast Trads – In Cast Stone MASONRY METALS OS1220 Structural Framing Structural Framing Structural Framing Bar Joist/Deck – Wazzanine Bar Joist/Deck – Wazzanine G4.00 Inft Structural Framing OS6003 Bollards G-Da Pipe Bollards G-S000 Leach 1,365 G-S000 Leach 1,376 G-S000 Leach 1,376 G-S000 Leach			CMU		0		4000	100 100			
Cast Stone Cast Stone 20.738.00 sqft 724,810 17.36 /sqft 724,810 70,429,00 sqft 70,429,			Concrete Masonry Units				200	317.107	13.02 /each	764 695	1,058,702
Precast Trades - In Cast Stone 20,738.00 sqft 724,810 17.36 fart 7.36 fart 7.		044302	Cast Stone								1,000,1
Precast Treads - In Cast Stone 236.00 Inft 724.810 17.36 Inft 7.265,523 17.36 Inft 7.265,523 17.36 Inft 7.265,523 17.36 Inft 7.265,523 17.365 Inft 7.365			Cast Stone	20,738,00 sqft	1	•	34.95 /sqft	724,810	17.36 /sqft	360,062	1,084,872
MASONRY			Precast Treads - In Cast Stone	236.00 Infl	-1		- Anft		17.36 Anft	4,097	4,097
### SONRY ### METALS ### METALS ### METALS ### ### ### ### #### #### #### #######			Cast Stone					724,810		364,159	1,088,969
METALS OS1220 Structural Framing 70,429.00 sqrt 12,648.00 sqrt 10,73 /sqrt			MASONRY					1,285,523		1,744,019	3.029.542
Structural Framing Structural Framing Structural Framing Bar Joist/Deck - Mezzanine Bar Joist/Deck - Mezzanine Operable Partition Support Beam Structural Framing Bollards 64.00 Inft Structural Framing 64.00 Inf	20000		METALS								
Structural Faming Main Building 70.429.00 sqft 1.88 billion		027150	Structural Framing								
Structural Framing 1,000.00 sqt			Bar Intellate Washing - Main Building	70,429,00 sqft	1	•	, .	à	22,89 /sqft	1,611,845	1,611,845
Structural Framing 53.67 /nmt 1,365 150.00 /each 5,850 15.00 /each 5,850 15.00 /each 1,365 1			Bar Joist Deck - Mezzanine	100000	1	,		de l	10.73 /sqft	135.752	135,752
Structural Framing Bollards 6" Dia Pipe Bollard 1,365 150.00 /each 5,850 Lose Linels Cose Linels Cose Linels			Operable Partition Support Beam	64.00 Inft	. ,			0.	15.03 /sqft	15.026	15,026
80lards 6" Dia Pipe Bollard 6" Dia Pipe Bollard 80 lack 1,366 1,36			Structural Framing						MIII /0.00	3,430	3,435
6" Dia Pipe Bollard 39.00 each 35.00 /each 1,365 150.00 /each 5,850 Bollards 1,366 5,860 5,860		055003	Bollards							000'00 /1	1,7 66,058
Bollards 1,366 5,860 Loose Lintels 6,860			6" Dia Pipe Bollard	39.00 each	35.00 /each	1,365	150.00 /each	5,850	i	-)	7,215
Lorse linking		900330	Bollards			1,366		5,850			7,216
		200000	Loose Lintels	4-1 03 03 0			0.00				



The state of the s	Graup Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
		Loose Lintels					Annound A D11			
	055102	Elevator Misc Metals							1,794	5,805
		Pit Ladder	1.00 each	*	-0	350.00 /each	350	161.00 /each	161	511
		Sumo Pit Frame & Cover	2.00 each		•	125.00 /each	250	80.50 /each	161	411
		Elev Separator Beam	200 sach			250.00 /each	250	107.33 /each	107	357
		Elev Hoisting Beam	100 each			450.00 /each	1,350	268.33 /each	805	2,155
		Elevator Misc Metals	200		0-	450.00 /each	450	268.33 /each	268	718
	055210	Steel Stairs					2,650		1,503	4,163
		Steel Stairs w/Rails & Landings	8 00 ffr							
		Steel Stairs w/Rails & Landings - Mezz	100 1	. +	0 0		r	21,466,23 /flr	128,797	128.797
		Steel Stairs					,	15,026.36 Mr	15,026	15,026
	022550	Handrails & Railings							143,874	143,824
		Kating/Handrail	489.00 Infl	ý.	7	٠	•	80.50 Anti	19 36 A	30.054
		Maray & Kallings							38.86	19 164
000000		MEIALS			1,365		12,511		1 052 542	4 OKE 419
nonnon	061117	WOOD AND PLASTICS								0110001
		Wall Blocking	400 00 110 80							
		Wall Blocking	Tips OU. S. VO. Po	ubs/ -		7	>	0.65 /sqft	54,650	54,650
	061113	Roof Blocking							54,650	54,650
		Roof Blocking	39,607,00 soft	- /enf						
		Roof Blocking		160		γ.		0.65 /sqft	25,745	25,745
	064110	Cabinets							25,745	25,745
		Base Cabinets	512.00 Inft	¥			,	201 71 AAB		
		Lab Analyst Cabinets	1.282.00 Inft	i		-	- 1	250.00 //nff	320.500	103.277
		Mail Siots	6.00 Inft	30			,	500 00 Anft	3,000	320.500
		wall Cabinets	359.00 Inft	X.		, ē,		125.00 Anft	2,000	3,000
		Table 1	70.00 Inft	÷			4	150 00 Anft	10 500	200
		Shaking (Inte	· Inf	¥			٠	250.00 Antt	1000	200
		Cabinets	101 -	1			ı	125.00 /infr	•	0
		WOOD AND PLASTICS							482,152	482,152
000000		THERMAI & MOISTINE DECTION							562,547	562,547
	071202	Bituminous Dampproofing								
		Bituminous Dampproofing	53 283 00 soft							
		Bituminous Dampproofing					•	0.75 /sqft	39,962	39,962
	072102	Insulation							29.962	39,962
		2" Insulation Board	53,283,00 sqft)		1,51 /sqft	80,457	1.15 /soft	61 144	141 600
	072402	Exterior Finish System					80,457		61,144	141.602
		Ext Dsul Finish System	200000							
		Exterior Finish System	aps on nee's	ž	ì	30	•	11.00 /sqft	91,850	91,850
	072702	Air Barrier							91,850	91,850
		Air Barrier	53,283 00 saft	- 5				200 000		
		Air Barrier				,		1.50 /sqft	79,925	79,925
	075402	Thermoplastic Roofing							79,926	79,925
		Thermoplastic Roofing	39,607,00 sqft	Ī		· ¥		7 96 lead	266 256	
	078402	Thermoplastic Roofing						the on	311,375	311.3/5
	701870	Spray Applied Figures 600 (Tuna 119) Mar Burner							200	6/2/1/2
	079202	Joint Sealants	ubs .				6	ybs/ -	i	0
		Caulking	84 077 00 soft							



57 605,275 68 85.00 (each 27,820 85.00 (each 31,680 53 25.00 (each 15,045 71 85.00 (each 15,045 71 85.00 (each 15,045 71 85.00 (each 15,045 71 1,865.60 (each 23,760 10,560.00 (each 10,071 11,865.60 (each 23,731 25,05,93 (each 39,541 11,865.60 (each 23,731 11,865.60 (each 23,731 11,865.60 (each 23,731 12,45 (sqft 1,046,360 10,046,360 7 /% 73 (sqft 1,046,360 11,046,360 7 /% 11,250 /mf 89,000 13,51283 15,00 /sqft 1,255 15,00 /sqft 7,237 11,240 /sqft 7,237 11,240 /sqft 61,799 115,02 /sqft 61,799	Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
### PROVIETION CONTRICTORS ### PROVIETION CONTRINGENIES CONTRICTORS ### PROVIETION CONTRICTORS ### PROVIETION C			Joint Sealants								
### COMPAGE ALWINDOWS			THERMAL & MOISTURE							21,019	21,018
Control Cont			PROTECTION					80,457		605,275	685,733
### 1992 Part of the part of	000		DOORS & WINDOWS								
1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1, 1,	E I	081102	Hollow Metal Doors								
March Marc			Level 8 Ballistic Door & Hardware	4 00 each	4500		4000			San	
			HM Door	26.00 each	2000		- /each	1 111	6,955.00 /each	27,820	27,820
High Door France 1720 each Anthon 25519 hach 2471 2500 hach 4.072 4.07			Hollow Metal Doors	0000	(Cac)		354.35 /each	9,478	85.00 /each	2,210	11,688
Michael Permas 17200 seath March		081202	HM Door Frames					9,478		30,030	39,508
Hardwood Freeze			HM Door Frame	472 00 524	4		Contract of the Contract				
Noted Decreases 1770 cean			HM Window Frame	15.00 each	- /each	•	255.19 /each	43,893	25.00 /each	4,300	48,193
1,000 to the control of the contro			HM Door Frames	15.00 each	- leach		183,53 /each	2,753	25.00 /each	375	3,128
Wood Doese Woo		081410	Wood Doors					46,646		4,675	51,321
Wind Done & College State Wind Done & Sept (each 64771 85.00 (each 15.64			Mond Door								
County Doors & Coun			Wood Doors	177.00 each	- /each		365.94 /each	64,771	85.00 /each	15,045	79,816
Culting Doors of Citation 2		083302						64,771		15,045	79,816
Colling Doors & Collins 1.5 1.		***************************************	Committee of Committee	7							
Colling Doors to Children 10,500 to Nearth 1,500 to Nearth			Service General Control	3,00 each	,	ă.	à		7,920.00 /each	23,760	23.760
Secretaries a Society of the Control of the Contr			Colling Doors of Calles - Lx x 15	3.00 each		į.	٠	-30	10,560,00 /each	31,680	31,680
State Stat		084102	Entrances to Constitution							55,440	55,440
State from Done Effection Done Effection Done Effection Done Effection Done Effection Done Effection Effection Done Effection Effe			Special Control of the Control of th								
Entire & Storethorst 1,000 each 1,000			Store Contract Contra	5,610.00 sqff		i.	i.		60.14 /sqff		397,541
Automatic Entry Doors			Entrances & Storefronts	12.00 each		i	٠	C	2,505,93 /each		30,071
Automatic Entrance Doors		084260	Automatic Entry Doors							427,612	427,612
Automatic Entry Doors Automatic Entry Doors Automatic Entry Doors Automatic Entry Doors			Automatic Entrance Doors	4.00 pair						3	
Model Windows 198 00 each - Feach - Fe			Automatic Entry Doors				•		ried/ 08.716.7	30,071	30,071
Level B Ballotto Vinctous Level B Ballotto B		085110	Metal Windows							30,00	30,071
Math Windows			Level 8 Ballistic Windows	2.00 each	- /each		- /each		11 865 60 Jeach	23 734	20 720
Printsh Hardware 198 00 each - feach 153.27 15.04 feet 15.05 feet 10.05 feet			Metal Windows						0000	101.03	23,737
Finish Hardware 198.00 each 163.327 Finish Hardware 198.00 each 163.327 15.04 fagt 18.555 18.555 15.04 fagt 18.555 15.04 fagt 18.555 15.04 fagt 18.555 15.04 fagt 18.555		087102	Finish Hardware							10/07	23,737
Finish Hardware Finish Hardware 15,04 feet 8,555			Finish Hardware	198.00 each	- leach		824.88 /each	163 327			700 021
Class & Clazing Class & Cl		0,0000	Finish Hardware					163,327			163.327
15.04 fsqt 8.555		011090	Class & Clazing								
Decidion of State Colored and State Colo			Silver of the second	mps un.eac	,		,	r	15.04 /sqft	8,555	8,555
Fig. 222 595,160 871 Fig. 35,160 871 Fig. 31,160 7,00			CANCALAMA & GOOD							8,555	8,556
Figure 10			DOORS & WINDOWS					284,222		595,160	879.382
Gypsum Board Gypsum Board Gypsum Board 84,077.00 sqrt 1,046,360	000		FINISHES								
Comparing State 1,046,380		092110	Gypsum Board								
Wise Bulknead/Soffitis 0.15 % 4.046.360.27 /% 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 156,954 157,759 177,750 177,750 177,750 177,750 177,750 177,750 177,750 177,750 1			Gypsum Board	84,077,00 sqft		,		9	12.45 /soft	1.046.360	1 046 350
Caypsum Board Celling			Misc Bulkheads/Soffits	0.15 %	t	Ţ		d	1.046.360.27 /%	156 954	156 954
Comparison of Post Comparison Comparis			Gypsum Board Ceiling	4,569.00 sqft	-(-		i	1	7.31 /saft	33 377	33.377
Mysc FireStopping 34,077.00 sqft 25,592			CIP Ballistic Walls in lieu of Fiberglass Sheet	80.00 Inft	40	-1	•	•	1,112.50 Ann	89.000	000 68
Gysum Board Gysum Board Gysum Board 1,361,283 1,3 General Plaster 15.00 /sqft 12,525 Ceramic Tile Porcelain Floor Tile - Lobby 415,00 sqft 7,237 Porcelain Floor Tile - Restrooms 2,743,00 sqft 7,237 Porcelain Vall Tile 3,905,00 sqft 47,719 Ceramic Tile 15,82 /sqf 61,759			Misc Firestopping	84,077,00 sqft	,	*	*		0.30 /soft	25 592	25 502
Cement Plaster Paster Portland Cement Plaster 12,525 Portland Cement Plaster 12,525 Portland Cement Plaster 12,525 12,526 Portland Floor Tile - Looby 2,743 00 sqrf 7,237 Portcelan Floor Tile - Restrooms 2,743 00 sqrf 7,719 Portland Wall Tile 2,905,00 sqrf 6,7759 Portland Tile 15,82 fsqrf 6,7759 Portland Tile 15,82 fsqrf 15,237 Portland Wall Tile 15,82 fsqrf 15,82 fs			Gypsum Board							1.351.283	1 151 281
Centent Plaster 835.00 sqft 12,525 12,52		705760	Comment Planter								
Ceramic Tisser Ceramic Tisser Ceramic Tiser 415.00 sqft 7.237 Porcelan Floor Tiser Restrooms 2.743.00 sqft Porcelan Wall Tiser 3.905.00 sqft 3.905.00 sqft 415.719 Ceramic Tiser 15.82 /sqft 417.719 Ceramic Tiser 15.82 /sqft 417.719			Coment Officer			ř.	*	*	15.00 /sqft	12,525	12,525
Porcelain Floor Tile - Lobby 416.00 sqrt 7.237 Porcelain Floor Tile - Restrooms 2.743.00 sqrt 47.719 Porcelain Wall Tile 3,905.00 sqrt 61.759 Ceramic Tile 15.82 /sqrt 41.759		093010	Ceramic Tile							12,525	12,525
Parcelain Floor Tile - Restrooms 2.743.00 sqrt 7.237 Porcelain Wall Tile 3.905.00 sqrt 61.759 Ceramic Tile 15.82 /sqrt 148.716			Porcelain Floor Tile - Lobby	416 00 soft					9		
Porcelain Wall Tale 3,905.00 sqff 47.719 Ceramic Tile 15.82 /sqf 61,759			Porcelain Floor Tile - Restrooms	2.743.00 saft	- 7			1	17.40 /sqft	7.237	7,237
Ceramic Tile 13.82 / Sqrt 64.759			Porcelain Wall Tite	3,905.00 saft					17.40 /sqn	47.719	47,719
			Ceramic Tile						13.62 /Sqrt	667,78	61,759



Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
	095302	Acoustical Ceiling								
		Acoustical Ceiling	56,782.00 Isum	1	1	9	*	3.31 /Sum	187,948	
	096102	Floor Treatment							187,948	
		Seal Concrete Floors	13,489.00 sqfl	1				0.50 /saft	6 745	
	096807	Floor Treatment							6,745	
	700000	Viva Composition Tite	47.000.000							
		Rubber Flooring	1192 00 597			x o	r	2.85 /sqft	2,175	
		Static Dissipative Tile	100.000 squ		.0		4	7.54 /saft	4.440	
		157	11 223 00 503		J	0	•	12.21 /sqft	7,510	
		4" Cove Base	The DOOR	K :			6	5.37 /sqft	60,500	
		Resilient Flooring	ine por				-	19.110.00 /Isum	19,110	
	096702	Fluid Applied Flooring							93,735	
		Resinous Flooring	17.747,00 sqft							
		Resinous Flooring Base						8.00 /sqft	141.976	
		Epoxy Flooring					•	4.00 Anft	11,004	
		Fluid Applied Flooring						198/ 06.2	5,203	
	096802	Carpet							158,183	
		Carpet 1	20,235.00 sqft	,	•	×		Punal MOSE	22.020	
		Carpet 2				3	,	EE 33 /squd	47 075	
		Carpet 3	785.00 sqft		•			SO OR Jedyd	0.10,11	
		Carpet 4	186.00 sqft	- 18	· de			50.08 /savd	1 035	
		Carpet						alber on an	200	
	098402	Acoustical Wall Treatment							84,508	
		Acoustical Wall Treatment	1,200.00 sqft		t	ž.	1	13.50 /sqft	16,200	
		Acoustical Wall Treatment							16.200	
	033002	Painting								
		Painting	84,077,00 Isum	,		i)	2.83 Asum	237,938	
									237,938	
3 3 4 5		LINISHES							2,275,779	
100000		SPECIALTIES								
	101115	Markerboards								
		Markerboards	3.00 each	15.00 Mour	06	300.00 /each	006	.0		
	404302	Discontinuis			90		006			
	700101	Directories								
		Directories	1.00 each	120.00 /each	120	1,500.00 /each	1,500	ï	1.	
	101420	Planies			120		1,500			
		Plaques	4300	10000						
		Plagues	330	20.00 /640	95	1,500,00 /each	1,500		1	
	101430	Exterior Signage			36		1,500			
		Exterior Signage - Not Incl'd	doed	/pach		desert,				
	101440	Interior Signage				I TORRI				
		Interior Signage	192.00 each	15.00 Mour	720	35 00 /each	6 720			
		Interior Signage			720		6 720			
	102170	Plastic Tollet Partitions								
		Toilet Stall	13.00 each	30.00 /each	390	409.50 /each	5.324			
		HC Toilet Stall	8.00 each	30.00 /each	240	585.00 /each	4 580			
		Urinal Screen	1.00 each	15.00 /each	15	117.00 /each	117			
		Plastic Tollet Partitions			645		10.121			
	102205	Wesh Partitions								
		Mesh Partitions	147.00 Inft	•						



United State	Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Amount	Sub Price	Sub Amount	Total Amount
1411 Character		102225	Mesh Partitions Operable Partition							4,410	4,410
This processor This			Operable Partition	64.00 Inft	à		•		350.00 Anft	22,400	22,400
Total Accessors - Cong. Billion - Sept. 1500 man 130 1300 man 1500		102810	Tollet Accessories							22,400	22,400
			Toilet Accessories - Gang Bathroom Sets	8.00 each	150.00 /each	1,200	700.00 /each	9,600		9	6 800
14420 Comment of the comment of			Toilet Accessories - Single Bathroom Sets	7.00 each	75.00 /each	525	350.00 /each	2.450	i		2,975
1,041.0 File Cabinates 1,00 cests 1,50 men 1,			ACCESSORES - DIESE ROOMS	4,00 each	75.00 /each	300	350.00 /each	1,400			1,700
Fig. Ed. Children			Tollet Accessors	1.00 each	75.00 leach	75	350.00 /each	350		16	425
Fig. Cabbonic Recommend Fig. Cabbonic Re		104420	FE & Cabinets			2,100		9,800			11,900
Fig. Chicket Statement 100 to seath 1500 throat 15			Fire Extinguisher	47,00 each	15.00 Mour	353	65.00 Jeach	3 065			
19810 Fee Celiment			FE Cabinet - Recessed	40.00 each	15.00 Mour	1.200	150.00 /each	6,000			3,408
19312 Concess Services 1,500 on section 1,5			FE & Cabinets			1,553		9,055			10.500
19810 1982		105102	Lockers								000,0
19810 Unitary Unitar			COCKER'S	20.00 each	35.00 /each	200	250.00 /each	2,000		*	5,700
1951 24 - 45 - 190 100			Town and the second	5,00 each	35,00 /each	175	450.00 /each	2,250			2,425
17.1002 24.9 45 × 45 methods 200 sech 150 00 heary 150 0		105610	Metal Shelving			875		7,250			8,125
24 x 55 x 12 Units 25 x 55 x 12 Units 25 x 55 x 12 1			24" x 48" x 84" Units	3.00 each	150 00 051	9460					
14 15 15 15 15 15 15 15			24" x 48" x 120" Units	3.00 each	150 00 /each	450	1 200 00 (each	2,700	· /each	4	3,150
177208 Covered Voticle Storage 1,490 00 soft 1,590 1,490 1			24" x 50" x 120" Units	3.00 each	150.00 /each	450	1 500 00 /each	0000	/each		4,050
107302 Covered Vehicle Storage 1,430 to saft 1,830 to saft 1,430 to			Metal Shelving			1350	1,000,000	000.4	/each		4.950
The contract of whiche Storage		107308	Covered Vehicle Storage					008'01			12,150
17922 Covered which Stones 200 each 1930			Covered Vehicle Storage	1,430.00 sqft					35.00 /saft	50.050	50.050
Page		407500	Covered Vehicle Storage							50,050	50,050
Pagabotes Pagabotes 108310 Pagabotes Paga		706701	Tagooles								
1983-00 Wall Louvers 1980-00 Set			Flaggodes	3.00 each	- /each	ů-	- leach	÷	3,500.00 /each	10,500	10,500
Particular Par		108310	Wall Louvers							10,500	10,500
Well Louvers SPECIAL TIES 7,489 57,646 19,000 (apr) (Louver .	96.00 saft	#69/		-			,	
SPECIALTIES SPECIALTIES PROJECTIES P			Wall Louvers				in the		Tp2, 00,061	14,400	14.400
FQUIPMENT FQUI			SPECIALTIES			7.489		57 646		104 760	14,400
Harden H	10000		EQUIPMENT					2000		201,101	100,034
Automative Lift		110002	Equipment								
11302 Loading Dock Equip 1,000 each 7,000 (each			Automotive Lift	1.00 each	- 7	Ä	1	. 6	39,990,00 /each	39,990	39 990
Dock Bumpers Dock Levelers Look each		111302	Loadin Dork Frein							39,990	39,990
13102 Cock Levelers 1.00 each 1.00 1.00 each 1.00 1			Dock Bumpers	4000	1000			570			
13102 Residential Equipment 1,000 1,00			Dock Levelers	1.00 each	משפון (משפון	007	250,00 leach	1,000		1	1,280
13102 Residential Equipment 4.00 each 64.00 /each 256 920.00 /each 3.680 7.000			Loading Dock Equip			280	1399	4 000	Coordo Jeach	7,000	7,000
Refingerator Refingerator Refingerator Refingerator Residential Equipment A.00 each 64.00 feach 256 320.00 feach 1,280 Residential Equipment A.150 Residential Equipment Recessed A.150 Reach Recessed A.150 Reach Recessed A.150 Reach Recessed Recess		113102	Residential Equipment					200'		000'/	8,280
Nacrowave Nacrowave			Refingerator	4.00 each	64.00 /each	256	920.00 (each	3,680	×		3 936
115202			Microwave	4.00 each	64.00 /each	556	320.00 /each	1,280	x		1,536
Audio-Visual Equipment S,400 leach 135 00 leach 405 1,800 00 leach 5,400 46,900 leach S,400 46,900 1,2202 Window Treatments Window Treatments Window Treatments Window Treatments S,610.00 sqft 29,745 Window Treatments S,400 sqft 29,745 Window Treatment S,4		115202	And O Marre Couldman			215		4,960			5,472
Audio-Visual Equipment 5,400 EQUIPMENT 5,400 FURNISHINGS 122202 Window Treatments Window Treatments Mindow Treatments S,610.00 sqft 29/745 Window Treatments Window Treatments			Projection Screen - Recessed	4200	135.00 (254)	200					
# 46,990			Audio-Visual Equipment		ומס ומס ובפרון	405	1,500,00 Jeach	5,400	٠	•	5,805
#6,990 12202 Window Treatments Window Treatments Window Treatments Window Treatments #6,990 46,990 46,990 46,990 46,990 46,990			EQUIPMENT			4 497		000			5,805
Window Treatments Window Blinds Window Treatments Window Treatments Window Treatments 4.50 /sqft 29/145	20000		FURNISHINGS			10111		000'11		46,990	59,547
Window Treatments 6,610.00 sqft 29,745 Window Treatments 29,746		122202	Window Treatments								
Window Treatments 29.745			Window Blinds	5,610.00 sqft				7	4 50 /soft	20 745	20 745
			Window Treatments							29 745	20 746



	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
	123600	Countertops								
		Plastic Laminate Countertops	474.00 saft	4				4000		
		Solid Surfacing Countertops	720.00 saft					1987 CO.25	000,01	15,560
		Laboratory Countertops	2.564.00 saft					mps/ 02.10	48,425	48,425
		Countertops				•		mbs/ 00.ce	217,940	217,940
	124802	Entrance Mats							281,925	281,925
		Recessed Entrance Mate								
		Entrance Mate	Caso Co.	F.	5 -	PI	•	6,500.00 /each	26,000	26,000
	420112	Walt Darkley Agent							26,000	26,000
	716671	Walk Parking Appurenance								
		DICYCH RACK	2 00 each	- Mour	,	- /each		4.000.00 /each	8,000	000 8
		Walk Parking Appurtenance							0000	000'0
		FURNISHINGS							000'0	9,000
140000		COMMENANCE EVETERS							345,670	345,670
2000	442002	CONTRACTOR STREET								
	145005	Elevators								
		Elevators	7.00 stop	-1	ī)		39 079 00 (6100	270 550	
		Access Control Interfaces w/Elevators	2.00 each					dois/ 00.50.50	273,553	273,553
		Elevators				ē,		S.SUO.UU /each	000'/	7,000
		CONVEYANCE SYSTEMS							280,553	280,553
2000									280,553	280,553
710000		FIRE PROTECTION								
	210002	Fire Protection								
		Service from BFP to Bldg	75.00 Inft	,					17.7	
		Below Grade Piping Downstream of BFP	145.00 108					40.00 /Inft	3,000	3,000
		Building Standongs System	0000					40,00 Juff	5,800	5,800
		Met Dies Creeses	3.00		1.		•	4.500.00 /each	13,500	13,500
		110000000000000000000000000000000000000	80,870,00 sqff		,			2.88 /sqft	233,000	233,000
		Crean Agent System	5.00 each		30	×		1,500.00 /each	7 590	7 500
		Clean Agent System Area	1,045,00 sqft	. ,	÷	ì	- 10	6.50 /soft	E 703	200
		Fire Protection							269 691	000000000000000000000000000000000000000
		FIRE PROTECTION							260 603	200,000
220000		PLUMBING							566,503	209,093
	220002	Plumbing								
		Secure from Mater to Blds	1							
		Domestic Mater Distriction	mm 00,0c		i.		4	26.20 Ann	1,310	1,310
		Company Value Company	84,077.00 sqff	•	7	1		4.28 /sqft	359,457	359,457
		Sanitary Sewer System	84,077.00 Isum				9	2.62 Asum	220,076	220 076
		Lab Waste & Vent System - In Above	36.00 loc	m)	•	3	•	· //oc		
		Slorm Water System	84,077,00 sqft	· ·		- (8)	3	2.80 /soft	235 795	225 755
		Natural Gas Dist System	1.00 Isum				9	44 015 15 Acom	44.046	20000
		Plumbing Insulation	84,077,00 sqft	-				100 000	20.1	610,44
		Domestic Water Boosting System	1.00 each					Tibel oo's	4/1.10	4/1,1/8
		Hose Bibbs	21.00 each	ě				Manay .		•
		Floor Drains & Trap Primers	27 00 each	,				103.29 /each	3,429	3,429
		Hub Drains	300				-	1,061.40 /each	28,658	28,658
		Trench Drains	36.00 144			,			1,225	1,225
		20,000	1111 00:00					122.47 Anft	4.409	4.409
		The state of the s	55.00 each	,	•		4	775.64 /each	43,436	43,436
		Criedgency Overnow Urains	6.00 each	*	4		•	775,63 /each	4,654	4.654
		Lavalones	34.00 each					1,796.21 /each	61,071	61.071
		Sinks	18.00 each	,			J	734.81 /each	13 227	13 227
		Emergency Eyewash	10.00 each				•		65.317	66 347
		Mop Sinks	3,00 each		9			1 387 98 /each	4 164	154
		Water Closets	26.00 each	30				1 796 21 Jaseh	207.34	1 9
		Urinals	5.00 each		1			1 469 63 Jearh	7 348	707.05
		Showers	3.00 each						967.0	0000
		Drinking Fountains (Double)	3.00 each					6 086 53 Joseph	08.16	9,790
		Domestic Water Heaters	4.00 each		j			C,900,35 /Bach	096,02	70,960



tion and the selecting selection of the selecting selection of the selecti		Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
Electric Water Healers Het Water Criculation Pump Sump Pumps Sump Pumps Temp Water Service during Construction Cornere Peads for Pumbing acquirement Pumbing As-BullistClose-Out/Commissioning adentification Requirements Lab System 4. Single Sash Furne Hood 8. Single Sash Furne Hood								
Heti Water Circulation Pump Sump Pumps Sump Pumps Temp Water Service during Construction Concrete Pads for Plumbing Equipment Plumbing Lab Systems 4 Single Sash Furne Hood 8 Single Sash Furne Hood	4.00 each	3	*			227822 (each	9113	0 113
Sump Pumps Sump Pumps Jabooo Lab Systems Lab Gas Package High Punty Water Distribution Lab Systems Lab Gas Package High Pumps System 4: Single Sash Furne Hood 8: Single Sa	4.00 each	0		ā		1 047 98 /each	4 192	4 102
Temp Water Service during Construction Corcue Pads for Plumbing Equipment Plumbing As-BullistClose-Out/Commissioning Identification Requirements Plumbing As-BullistClose-Out/Commissioning Identification Requirements Lab Gas Package High Purity Water Distribution Lab Systems Lab Gas Package High Purity Water Distribution 4: Single Sash Furne Hood 6: Single Sash Furne Hood 6: Single Sash Furne Hood 7: Double Sash Furne Hood 8: Single Sash Furne Hood 8: Singl	2.00 each		*			10.479.80 /each	20 960	20 960
Pumbing A-Builts/Close-Du/Commissioning Identification Requirements 228600 Lab Systems Lab Gas Package High Punit Water Distribution Lab Gas Package High Punit Water Distribution Lab Gas Pinide Sash Furne Hood Single Sash Furne	16.00 mnth			*	- 2	209.60 /mnth	3354	3 354
1 Trumbing Ar-ButtisClose-Dut/Commissioning lighting Ar-ButtisClose-Dut/Commissioning Plumbing are plumbing as Package Lab Systems Lab Gas Plackage High Hood 8' Single Sash Furne Hood 8' Single Sash	1.00 Isum	00-	,	9.		3,667,93 Asum	3.668	3,668
region to the properties of th	1.00	0		9		8,383,84 Asum	8,384	8.384
Trumbing Trumbing Lab System Lab Gas Package High Punity Water Distribution Lab Gas Pleng System 4 Single Sash Furne Hood Single Sash Furne Single Sash F	84,077,00 Isum	•	*	je.		0.11 Asum	8 908	8 908
Lab Gas Pedege High Punity Water Distribution Lab Gas Piging System 4. Single Sash Furme Hood 6. Single Sash Furme Hood 8.							1,361,000	1,361,000
High Punity Water Distribution Lab Gas Plping System 4' Single Sash Furne Hood 8' Condel Systems 14 WAC 84, HVAC 84, HVAC Metal Ductwork 84, HVAC As-Bullts/Glose-Out/Commissioning 84, HVAC As-Bullts/Glose-Out/Commissioning 84, HVAC 8230802 Test & Balance 84, HVAC 8230802 Test & Balance 84, HVAC 85, Seblance 86, HVAC 86, Switchgear 86, HVAC 86, Switchgear 86, Service, Metering & Switchgear 87, Service, Metering & Switchgear 88, Service, Metering & Switchgear 88, Service, Metering & Switchgear 88, Service, Metering & Switchgear 89, Service, Metering & Switchgear 80, Service, Metering & Switchgear 80, Service, Metering & Switchgear 80, Fuel 80, Service, Metering & Switchgear								
Lab Gras Plong System 4 Single Sash Furne Hood 8 Single Sash Furne 9 Si	1.00 Isum	٠			•	150,000.00 /Isum	160,000	160,000
4. Single Sash Furne Hood 8. Single Sash Fur	1,700.00 Inf	í		t		17.65 /Inft	30,000	30,000
6 Single Sash Furne Hood 8 Single Sash Furne H	TIM 00.00 / 1	4		•		45.71 Ann	80,000	80,000
8 Single Sash Fume Hood 4' Double Sash Fume Hood 5 Snorkels Lab Systems PLUMBING HVAC Air Cooled Chillers CHWP Pumps CHWP Pumps Chemical Feed System Lab Air Valve Terminals Equipment Access Pletform · Not Inclid HVAC Piping CHW, HW, Condensate HVAC Piping CHW, HW, Condensate Air Distribution Package Insulation Concrete Parts for Mech Egpt HVAC As-Builts/Close-Out/Commissioning Bat, HVAC As-Builts/Close-Out/Commissioning HVAC As-Builts/Close-Out/Commissioning HVAC Controls Controls Controls Controls Controls HVAC Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel	S OO each		6		4	14,084,51 /each	126,761	126.761
4* Courge Sash Furne Hood Snorkels Lab Systems PLUMBING HVAC AHVAC AHVAC AHVA Coled Chillers CHHV Purnps Natural Gas Package Bollers HHVV Purnps CHHV Purnps HHVAC Piping CHV, HHV, Condensate HVAC Metal Ductwork AHVAC Patalitation Package Insulation Controle Packs for Mech Egpt HVAC As-Bullts/Glose-Out/Commissioning Identification Requirements HVAC As-Bullts/Glose-Out/Commissioning Identification Requirements HVAC Controls HVAC Controls HVAC Controls HVAC Controls HVAC Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel	5.00 each	ř.	•			15.197.18 /each	80,986	80,986
Snorkels Lab Systems PLUMBING HVAC Arr Cooled Chillers CHW Pumps Natural Gas Package Bollers HHW Pumps Chemical Feed System Lab Air Valve Terminals Chamical Feed System Lab Air Valve Terminals HVAC Retal Ductwork HVAC Metal Ductwork Air Distribution Package Insulation Air Distribution Package Insulation Air Distribution Package Insulation HVAC As-Bullts/Close-Dut/Commissioning HVAC As-Bullts/Close-Dut/Commissioning HVAC As-Bullts/Close-Dut/Commissioning HVAC Controls HVAC Controls HVAC ELECTRICAL Service Metering & Switchgear Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel		1		40		19,718.31 /each	138,028	138,028
Lab Systems PLUMBING HVAC HVAC HVAC Aur Cooled Chillers CHW Pumps CHW Pumps Chemical Feed System Lab Air Valve Terminals Chemical Feed System Lab Air Valve Terminals Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Retal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-BultsCloss-Out/Commissioning I dentification Requirements HVAC As-BultsCloss-Out/Commissioning I dentification Requirements HVAC Controls Confrols Test & Balance Service Metering & Switchgear HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel	11 00 cont	el i	•		*	11,500.00 /each	0	0
PLUMBING HVAC And Cooled Chillers CHW Pumps CHW Pumps CHW Pumps CHW Pumps CHW Pumps CHW Pumps CHAMICal Feed System Lab Air Valve Terminalis Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Metal Duckwork Air Distribution Package Insulation Condens Pads for Mech Egpt MVAC As-BullistClose-Out/Commissioning Insulation Condens Balance Test & Balance T	CORP COTT		ď			4.929.58 /each	54,225	54.225
HVAC AIR Cooled Chillers CHW Pumps CHW Pumps Natural Gas Package Boilers HWW Pumps CHW Pumps CHWING Flower Lab Air Valve Terminalis Equipment Access Platform - Not Incl'd HVAC Matal Ductwork Air Ostnoturion Package Insulation Concrete Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Ray Insulation Concrete Pads for Mech Eqpt HVAC Controls Fast & Balance Tast & Balance Tast & Balance Test & Balanc							670,000	670,000
HVAC Arr Cooled Chillers CHW Pumps Natural Gas Package Boilers HHW Pumps Chemical Feed System Lab Arr Valve Terminals Equipment Access Platform - Not Incird HVAC Piping CHW, HHW, Condensate HVAC Matal Ductwork Air Ostribution Package Insulation Concrete Pads for Mech Egpt HVAC As-Builts/Close-Out/Commissioning B4,0 HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC Controls Test & Balance Sontols HVAC ELECTRICAL Service, Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel							2,021,000	2,021,000
Arr Cooled Chillers CHW Pumps Natural Gas Package Boilers HHW Pumps CHW Pumps Chemical Feed System Lab Air Valve Terminals Equipment Access Platform · Not Incl'd HVAC Metal Ductwork HVAC Metal Ductwork Air Distribution Package Insulation Requirements Air Distribution Package Insulation Requirements HVAC As-BullstClose-Dut/Commissioning Identification Requirements HVAC As-BullstClose-Dut/Commissioning Identification Requirements HVAC Controls Fest & Balance Test & Balance Sontos HVAC Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel								
Aur Cooled Chillers CHW Pumps Natural Gas Package Boilers HHW Pumps Chemical Feed System Lab Air Valve Terminals Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Retal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-BultsciDose-Out/Commissioning B4(HVAC As-BultsciDose-Out/Commissioning HVAC As-BultsciDose-Out/Commissioning HVAC Controls Test & Balance Service Metering & Switchgear HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Fuel Generator/Transfer Switch Fuel								
Natural Gass Package Boilers HHW Pumps Chemical Feed System Lab Air Valve Terminals Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Metal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC Controls HVAC Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	500,00 tons	÷	1	i	¥	2,820.00 Nons	1,410,000	1,410,000
HWW Pumps Chemical Feed System Lab Air Valve Terminals Equipment Access Platform - Not Inclid HWAC Piping CHW, HW, Condensate HWAC Pating Lockwork Air Distribution Package Insulation Condelle Pads for Mech Eqpt HWAC Pating Temp Filters, Misc HWAC 230802 Test & Balance Service Melering & Switchgear Gentral AVAC ELECTRICAL Service Melering & Switchgear Generator/Transfer Switch Fuel	2.00 each	j.	i		*	11,000.00 /each	22,000	22,000
Chemical Feed System Lab Air Valve Terminals Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Metal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC Controls Test & Balance Te	2.00 each	-1	i	t	ż	42,500,00 /each	85,000	85,000
Lab Air Valve Terminals Lab Air Valve Terminals Equipment Access Platform - Not Incl'd HVAC Piping CHW, HHW, Condensate HVAC Matal Ductwork Air Ostribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC Balance Test & B	2.00 each	ě	4		4	11,000.00 /each	22,000	22,000
Carbon Ward element Access Platform - Not Inclid HVAC Piping CHW, HHW, Condensate HVAC Metal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-Bults/Close-Dut/Commissioning Identification Requirements HVAC As-Bultson Requirements HVAC Controls HVAC Controls HVAC Controls HVAC Controls HVAC Controls HVAC Gentrals Service, Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	1.00 Isum			ě	,	20,000.00 Asum	20,000	20,000
HVAC Piping CHW, HHW, Condensate HVAC Piping CHW, HHW, Condensate HVAC Metal Ductwork Air Distribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-BuiltaClose-Out/Commissioning Identification Requirements Hosting, Temp Filters, Misc. HVAC As-Builtaclese-Out/Commissioning Identification Requirements HVAC As-Builtaclese-Out/Commissioning Identification Requirements HVAC As-Builtaclese-Out/Commissioning HVAC Controls HVAC Controls HVAC ELECTRICAL Service, Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	36.00 each		A.	è	·	4,638.89 /each	167,000	167,000
HVAC Matal Ductwork Air Distribution Package Insulation Condet Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC 230802 Test & Balance Test & Bal	. 50		4			- Asum	•	0
Air Ostribution Package Insulation Concrete Pads for Mech Eqpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC Test & Balance	00.770			×		5.35 /sqft	450,000	450.000
Insulation Concrete Pads for Mech Egpt HVAC As-Builts/Close-Out/Commissioning Identification Requirements HVAC As-Builtance Test & Balance Te	00//00		6	*	t	7.14 /sqft	000'009	600,000
Concrete Pads for Mech Egpt HVAC As-Bullts/Close-Out/Commissioning Identification Requirements Hoisting, Temp Filters, Misc. HVAC 230902 Test & Balance Controls HVAC ELECTRICAL Service Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	077.00		•		1	6.90 /sqft	580,000	580,000
HVAC As-Build/Close-Out/Commissioning Identification Requirements Hoisting, Temp Filters, Misc. Hoisting, Temp Filters, Misc. HVAC 230902 Test & Balance Gontrols HVAC ELECTRICAL Service, Melering & Switchgear Generator/Transfer Switch Fuel	200		4		4	4.76 /sqft	400,000	400,000
Identification Requirements Hosting, Temp Filters, Misc Host AC 230802 Test & Balance Test & Controls HVAC Controls HVAC ELECTRICAL Service, Metering & Switchgear Generator/Transfer Switch Fuel	R4 077 00 soft		* 1		4	10,000.00 /Isum	10,000	10,000
Horsting, Temp Filters, Misc. HVAC 230802 Test & Balance Test & Balance Test & Balance Controls HVAC Controls HVAC Controls HVAC ELECTRICAL 280002 Electrical Service, Meterning & Switchgear Generator/Transfer Switch Fuel			•	1		0.14 /sqfl	12,000	12,000
HVAC 230802 Test & Balance Test & Balance Test & Balance 230802 HVAC Controls Controls HVAC Controls HVAC ELECTRICAL 280002 Electrical Service, Melering & Switchgear Generator/Transfer Swich Fuel	84 077 00 sqft		È U			0.50 /sqft	42,000	42,000
230802 Test & Balance Test & Balance Test & Balance 230902 HVAC Controls Controls HVAC ELECTRICAL Z60002 Electrical Service, Metering & Switchgear Generator/Transfer Switch Fuel						0.16 /squ	000,01	000 01
Test & Balance Test & Balance 230902 HVAC Controls Controls HVAC Controls HVAC ELECTRICAL Z60002 Electrical Service, Melering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel							3,830,000	3,830,000
230902 HVAC Controls Controls HVAC ELECTRICAL Senote Electrical Service, Melering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	84,077.00 sqft		7-			0.83 /saff	70 000	70,000
20002 Electrical 26002 Electrical Service, Metering & Switchgear Generator/Transfer Switch Fuel							70,000	70.000
Controls HVAC controls HVAC HVAC ELECTRICAL Sector all Servich Senich Senich Generator Transfer Switch Generator Transfer Switch Fuel								
260002 Electrical Service Melering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel	84,077.00 sqft			i	Or el	5.95 /sqft	200,000	200,000
ELECTRICAL 260002 Electrical Service, Melering & Switchgear Generator/Transfer Switch Fuel							800,000	200,000
26002 Electrical Service, Melering & Switchgear GeneratorTransfer Switch GeneratorTransfer Switch Fuel							4,400,000	4,400,000
Service. Metering & Switchgear Generator/Transfer Switch Generator/Transfer Switch Fuel								
rator/Transfer Switch	100.00							
rator/Transfer Switch	1 100 00 km					3.923.67 Anft	392,367	392,367
	150.00 km			4.	•	645.48 /kw	710,025	710.025
	8 220 00 gal		•		F	1,023.19 /kw	153,479	153,479
Uninterruptible Power Supply System	150.00 kw	. ,		r		1.05 /gal	8,653	8,653
(Lab)	150.00 kw	-				992.00 JKW	148,800	148,800
Electrical Systems Distribution 84,07	84,077,00 sqft			,		7 24 /eath	99,200	99,200



Beliefong Lighting Proceding (LED) 84,077.00 spt	Group Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
Delivery delivery Presented 1.00 fram	260002									
100 100		Building Lighting Package (LED)	0		à		•	10.98 /soft	923 452	023.462
1,000 1,00		Extenor Site Lighting	1.00 Isum	•		5		94.481.00 /Isum	94 481	94 481
1,000 1,00		Fired Power, Pads, As-Builts, Identification	1.00 Isum	,		÷	9	43,650.00 //sum	43.650	43.650
The Communication of Communication of Communication System Received a System Secretary at System Building System Received a System Secretary at	264113								3,182,526	3,182,526
Displaying Systems Communication Country			14							
Execution Security & Systems Security & Security		Lightning Protection	CIDSI OD	1			ŕ	25,000.00 /Isum	25,000	25,000
Security-Access controls in Above 46,770 and 46,770	270002								25,000	25,000
Second Systems (Communication California Chiefler) in Above 46,770 a significant Communication California (Communication California) in Above 45,700 a significant Communication California (Communication California) in Above 45,077 0 a significant California (Communication California) in Above 45,077 0 a significant California (Communication California) in Above 45,077 0 a significant California (Communication California) 45,077 0 a significant Californi		Building Systems	077.00							
Communication Changes (1977) to set (1977) t		Security/Access Controls - In Above	00 270				+:	7.35 /sqft	618,211	618,211
Commontaine Department Continue Continue Continue Continue Continue Conti		Communication Cabling - In Above	077.00				4	/saft		
Secretary independent Combiner in Above 44,777 to set 7,000		Comm Conduit to ROW - In Above	450.00		•			ybs/		
Secondary Implement Commans - in Above		Cable Trays - In Above	0277.00					July 1		
Save Voltage Block Explainty Corner in Above		Secondary Independent Com/Data - In Above	0277.00				*	/saft		
Supplied Systems received by A 200 to Set 10		Low Voltage Bide Lighting Control - in Above	200		•		•	ybs/		
Sound Septemble of Septemble August Septemble		Mechanical System Wirlns - In Above	MUSI 00.17	•	•	•		/Isum		
Committed for Systems - Polic Primary - In Address Systems		Surge Suppression System - In Above	nps 00,110,40			•	٠	/sqf		
State Stat		Comm Cabling Systems - FDLF Primary - In	84 077 00 226				٠	ybs/		
Building System Receivage & Systems Second Systems		Above	tihe on the		•	6		/saft		
28102 Sound System (Not held) Faum Fire Alams System (Not held) Faum Fire Alams System (Not held) Fire Alams System Fire Alams F										
Second System Fire Alarm System Fire Ala	274002								117'819	618,211
23.00 24 Airm System 24 GPT 00 sqt 25 GPT 25 GP		Sound System (Not Incl'd)	- fsum							
The Alam System	283102	Fire Alarm System						Wash		
Fire Alama System Fire Critical System Fire Critical System Fire Alama System Fire Critical System Fire Alama System Fire Critical System Fire Alama State Critical System Fire Alama System Fire Al		Fire Alarm System	84,077.00 sqft	3		4		97.0		
STECONSTRUCTON STEC		Fire Alarm System						ubsi or	92.439	92,439
STITE CONSTRUCTION 100 fisum 1.00 fisu		ELECTRICAL							92,439	92,439
19086 Construction Site Provisions 1,00 fsum 1	10000	SITE CONSTRUCTION							3,918,176	3,918,176
Process Permit 1,000 fsum		Construction Site Provisions								
Relocation of Hower (Romana) 42200 int 1000 int 1000 of 188m 1000 of 188m 1000 of 188m 1000 of 188m 1200 of 188m 18		NPDES Permit	4.00 (e.m.							
Relocate OH Power (Reus) - Not Red of Starm 1000 Inft		Relocatoe OH Power (Romana)	must 00.77h	,)			- Usnm	•	0
Pakecate OH Power (Reus) - Nor Req'd - Sturm 100 Isum 100 Isum 1200 00 Isum 1200 0 Isum 1		Relocate OH Power (Intendencia)	2 00 note)		•	•	100.00 Anft	42,200	42,200
NPDES Parmit 100 Isum 1500000 Isum 15000 Isum 15		Relocate OH Power (Reus) - Not Ren'd				œ.	*	7,500.00 /pole	15,000	15,000
1,200.00 Asum 1,00 Isum		NPDES Permit			9	ě.	•	- //sum	•	0
Mobilization Mobilization 100 Isum 15,000.00 Isum 15,000		Site General Conditions	Engl oo F					1,200.00 Asum	1,200	1,200
Maintenance of Traffic		Mobilization	and out			ý.,	v.	45,000.00 Asum	45,000	45,000
Testing & As-Bulits		Maintenance of Traffic	musi 00 t	. ,	x ·	1.	,	25,000.00 /Isum	25,000	25,000
Site Clearing Site Clearin		Testing & As-Builts	Tust 00 t			v :		15,000.00 /lsum	15,000	15,000
Site Clearing Site Clearing Site Occuyed Site Clearing Site Occuyed Site Clearing		Construction Site Provisions						22,000,00 Asum	22,000	22,000
Site Demoittion 367 acre 14,060 76 / 367	311102	Site Clearing							165,400	165,400
Site Demolition 3.67 acre 14.060.76 face 14.06.76 face 14.06.7		Replace Topsoil	350.00 cuvd	4	- 1					
Demo Gurb & Sidewalk (Romana) 2,603.00 sqrt 2,72.00 sqrt 2,72.00 sqrt 2,72.00 sqrt 2,72.00 sqrt 0.57 /sqrt		Site Demolition	3.67 acre					5.00 /cuyd	1,750	1,750
Demo Gurb & Sidewalk (Nethiers) 2,472.00 sqrft Demo Gurb & Sidewalk (Nethiers) 2,956.00 sqrft Demo Gurb & Sidewalk (Nethodencia) 2,956.00 sqrft Demo Gurb & Sidewalk (Netus) 2,253.00 sqrft Site Clearing Demo Gurb & Sidewalk (Reus) 2,253.00 sqrft Site Clearing Demo Gurb & Sidewalk (Reus) Demo Gurb & Dem		Dema Curb & Sidewalk (Romana)	2.603.00 soft				ā	14,060,76 /acre	51,603	51,603
Demo Curb & Sidewalk (Intendencia) 2.956.00 sqrt 2.253.00 sqrt 2.253.0		Demo Curb & Sidewalk (DeVilliers)	2.472.00 soft		6 9	•			1,485	1,485
Demo Curb & Sidewalk (Reus) 2.253.00 sgft		Demo Curb & Sidewalk (Intendencia)	2 956 00 saft				i		1,410	1.410
Site Clearing Creding Grading		Demo Curb & Sidewalk (Reus)	2.253.00 soft		0		į.		1,686	1,686
Grading 9.50 /sqt 0.50 /sqt Building Pad Preparation 54,290,00 sqt 0.54 /sqt Finish Grading 54,290,00 sqt 0.54 /sqt Grading Excavation 119 00 cuyd Fill Import 15,00 00 cuyd 9.56 /suxd		Site Clearing	100000000000000000000000000000000000000			4			1,285	1,285
Building Pad Preparation 43,105,00 sqrt 54,290,00 sqrt 54,290,00 sqrt 54,290,00 sqrt 54,290,00 sqrt 5,500,00 sqr	312202	Grading							59,218	59,218
Finish Grading 54,290,00 sqf 0.54 /sqf 0.54 /s		Building Pad Preparation	43 105 00 soft					0.000		
Grading Crauding 0.54 /sqt Excavation 119 00 auyd 15,000 0uyd 15,000 ouyd 15,000		Finish Grading	54 290 00 soft			,	3	0.50 /sqff	21,642	21,642
Excavation Excavate to Fill Fill Import 15,00 Cuyd Fill Import 956 Payed		Grading				,		0.54 /sqft	29,135	29,135
119.00 cuyd 15,0070.00 cuyd 15,0070.00 cuyd 15,0070.00 cuyd	312302	Excavation							20,777	50,777
15,070.00 cuyd		Excavate to Fill	119.00 cuyd			7	8	7		
DATA XX		Fill Import	15,070.00 cuyd					Dec /20,00	09/1	C8/'L



		Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
### Ecosion Sedimentation Control 130,000				www.			
Erosian Control Manitenance 14,00						145,795	145,795
Street Sweeping Treatment Soil Treatment S	Inft				940 03 0	000 0	
Street Sweeping Street Sweeping Street Sweeping	moth				2.30 ////	3.836	3,835
The Protection	meth.				500 00 /mph	006.1	005,1
Construction Entitlation Entitlation Entitlation Entitlation Entitlation Entitlation Entitlation Soil Treatment Pask Treatment Soil	each .	ì	, de			1 540	0000
Soil Treatment Soil Treatment	each	•				3 500	040
Soil Treatment						DOC'S	006'8
Soil Treatment						11,876	11,876
Soil Treatment Stammed Aggregate Piles Rammed Aggregate Piles Rammed Aggregate Piles SITE CONSTRUCTION BASES, BALLASTS, PAVING Grading (Romana) 12° Compacted Subgrade (Romana) 12° Compacted Subgrade (Romana) 12° Compacted Subgrade (Intendencia) 12° Compacted Subgrade (Auxiliary Parking) 12° Compacted Subgrade (Primary Parking) 12° Compacted Subgrade (Auxiliary Parking) 12° Compacted Subgrade (Auxiliary Parking) 12° Compacted Subgrade (Auxiliary Parking) 12° Compacted Subgrade (Primary Parking) 13° Graded Aggregate Base (Auxiliary Parking) 13° Graded Aggregate Base (Compound) 15° Concrete Pavement (Compound) 6° 1597.00 140.00 137132 Concrete Pavement (Compound) 6° 1597.00 140.00 137161 Concrete Pavement (Loading Dock) 140.00 137161 Concrete Pavement 10° Concrete Cut-Gutter (Romana) 10° Concrete Cut-Gutter (Romana) 10° Concrete Cut-Gutter (Inlendencia) 10° Concrete Cut-Gutter (Inlend	soft					1000	
Same			,	1	0.15 /sqft	6,466	6.466
Rammed Aggregate Piles						6,466	6,466
Rammed Aggregate Piles SITE CONSTRUCTION BASES, BALLASTS, PAVING 12" Compacted Subgrade (Romana) 12" Compacted Subgrade (Intendencia) 12" Compacted Subgrade (Auxillary Parking) 13" Graded Aggregate Base (Auxillary Parking) 14" Graded Aggregate Base (Auxillary Parking) 15" Comcrete Pavement 4" Graded Aggregate Base (Loading Dock) 15" Concrete Pavement Concrete Pavement (Compound) 6" 140 Concrete Pavement Concrete Pavement Concrete Pavement Concrete Curb-Cutter (Romana) 1321612 Concrete Curb-Cutter (Romana) Concrete Curb-Cutter (Romana) Concrete Curb-Cutter (Romana) Concrete Curb-Cutter (Releading Dock) Concrete Curb-Cutter (Releading Dock) Concrete Curb-Cutter (Intendencia) Concrete Curb-Cutter (Releading Dock) Concre	Soft						
STTE CONSTRUCTION BASES, BALLASTS, PAVING Asphalt Pavement Grading (Romana) 12" Compacted Subgrade (Romana) 12" Compacted Subgrade (Intendencia) 13" Compacted Subgrade (Intendencia) 14" Compacted Subgrade (Intendencia) 15" Compacted Subgrade (Intendencia) 16" Grading (Intendencia) 17" Compacted Subgrade (Intendencia) 18" Canpacted Subgrade (Intendencia) 19" Compacted Subgrade (Intendencia) 10" Grading (Auxillary Parking) 10" Compacted Subgrade (Primary Parking) 10" Compacted Subgrade (Auxillary Parking) 11" Compacted Subgrade (Auxillary Parking) 12" Compacted Subgrade (Auxillary Parking) 14" Graded Aggregate Base (Loading Dock) 15" Compacted Pavement 14" Graded Aggregate Base (Loading Dock) 15" Concrete Pavement (Compound) 15" Concrete Pavement 15" Compacted Subgrade (Romana) 100 Concrete Pavement 100 Concrete Pavement 110 Concrete Curb-Gutter (Romana)	i ho		•	y	3,00 /sqft	129,315	129,315
BASES, BALLASTS, PAVING Stading (Romana) 1.2° Compacted Subgrade (Romana) 1.2° Compacted Subgrade (Intendencia) 3.2° Compacted Subgrade (Intendencia) 45.00 45.00 46.00 1.2° Compacted Subgrade (Intendencia) 46.00 1.2° Compacted Subgrade (Intendencia) 46.00 1.2° Compacted Subgrade (Intendencia) 40.00 1.2° Compacted Subgrade (Intendencia) 40.00 1.00 40.00 1.00 40.00 1.00 40						129,315	129,316
Asphalt Pavement Grading (Romana) 288.44 12" Compacted Subgrade (Romana) 288.44 14" Compacted Subgrade (Romana) 288.44 15" Compacted Subgrade (Intendencia) 45.00 15" Compacted Subgrade (Intendencia) 45.00 15" Compacted Subgrade (Intendencia) 45.00 15" Compacted Subgrade (Intendencia) 40.00 15" Compacted Aggragate Base (Loughound) 1.557.00 15" Concrete Pavement (Compound) 4" Graded Aggragate Base (Compound) 1.557.00 15" Concrete Pavement (Compound) 4" Graded Aggragate Base (Loading Dock) 1.557.00 15" Concrete Pavement (Compound) 4" Graded Aggragate Base (Loading Dock) 1.557.00 15" Concrete Pavement (Compound) 4" Graded Aggragate Base (Loading Dock) 1.557.00 15" Concrete Pavement (Compound) 1.557.00 15" Concrete Curb-Gulter (Intendencia) 1.507.00 15" Concrete Cu						568,847	568.847
Grading (Romana) 12" Compacted Subgrade (Romana) 12" Compacted Subgrade (Romana) 12" Compacted Subgrade (Intendencia) 13" Compacted Subgrade (Intendencia) 14" Compacted Subgrade (Intendencia) 15" Compacted Subgrade (Intendencia) 16" Compacted Subgrade (Intendencia) 17" Compacted Subgrade (Auxiliary Parking) 18" Grading (Auxiliary Parking) 18" Graded Aggregate Base (Lomany Parking) 18" Graded Aggregate Base (Lomany Parking) 19" Compacted Subgrade (Primary Parking) 10" Compacted Pavement 10" Compacted Subgrade Base (Louring Dock) 10" Concrete Pavement (Compound) 10" C							
12" Compacted Subgrade (Romana) 288.44 Asphalt 2.0" (Romana) 288.44 Pavement Patch (DeVilliers) 1.00 Grading (Intendencia) 45.00 12" Compacted Subgrade (Intendencia) 40.00 Street Parking Relocation (Intendencia) 5.037.67 Grading (Primary Parking) 879.11 12" Compacted Subgrade (Auxillary Parking) 879.11 12" Compacted Subgrade (Auxillary Parking) 879.11 Asphalt 2.0" (Auxillary Parking) 5.037.67 Asphalt 2.0" (Auxillary Parking) 879.11 Asphalt 2.0" (Compocte Pavement (Compound) 6" 1.597.00 Concrete Pavement (Compound) 6" 1.597.00 Concrete Pavement (Compound) 6" 1.597.00 Equipment Pads (Transformer) 60.00 Equipment Pads (Transformer) 750.00 Concrete Curb-Gutter (Romana) 750.00 Conc							
12 Compacted Subgrade (Romana) 288 44 Asphall 2.0" (Romana) 288 44 Parkment Patric (DeVillers) 1.00 Grading (Intendencia) 45.00 45.00 45.00 46.00 46.00 46	pábs	*		•	2 00 /savd	477	-
Payment Park (DeVillers) Grading (Intendencia) 1.00 Grading (Reus) 1.2" Compacted Subgrade (Intendencia) 45.00 Asphalt 2.0" (Intendencia) 1.00 Grading (Reus) 1.00 Grading (Paymay Parking) Street Parking Relocation (Intendencia) Grading (Primary Parking) 879.11 12" Compacted Subgrade (Primary Parking) 879.11 8" Graded Aggregate Base (Auxillary Parking) 8" Graded Aggregate Base (Auxillary Parking) 8" Graded Aggregate Base (Loading Dock) Asphalt 2.0" (Primary Parking) Asphalt 2.0" (Primary Parking) 8" Graded Aggregate Base (Loading Dock) 4" Graded Aggregate Base (Loading Dock) Concrete Pavement Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Reumana) Concrete Curb-Cutter (R	phbs		.,	. х	3.00 /savd	588	110
Congrete Pavement Devillers Concrete Pavement Congrete Base (Loading Dock) Concrete Pavement C	phis				12.82 /sovd	3,698	200
45.00 Ashbalt 2.0' (Intendencia) 45.00 Ashbalt 2.0' (Intendencia) 45.00 Grading (Reus) 12" Compacted Subgrade (Intendencia) 45.00 12" Compacted Subgrade (Intendencia) 40.00 Street Straing Relocation (Intendencia) 5.037-6.7 12" Compacted Subgrade (Auxiliary Parking) 8" Grading (Auxiliary Parking) 8" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Compound) 6" Graded Aggregate Base (Compound) 6" Graded Aggregate Base (Loading Dock) 6" Graded Cuth-Gulter (Romana) 750.00 6" Goncrete Pavement 750.00 750	Isum	it.			2.000.00 /sum	960'5	00000
12" Compacted Subgrade (Intendencia) 45.00 Asphalt 2.0" (Intendencia) 45.00 Glading (Reus) 45.00 Glading (Reus) 40.00 Asphalt 2.0" (Intendencia) 40.00 Street Parking Relocation (Intendencia) 1.00 Grading (Purmary Parking) 879.11 Grading (Purmary Parking) 879.11 12" Compacted Subgrade (Primary Parking) 879.11 12" Compacted Subgrade (Primary Parking) 879.11 12" Compacted Subgrade (Primary Parking) 879.11 14" Graded Aggregate Base (Primary Parking) 879.11 Asphalt 2.0" (Primary Parking) 879.11 Asphalt 2.0" (Primary Parking) 879.11 Asphalt 2.0" (Auxiliary Parking) 879.11 Asphalt 2.0" (Auxiliary Parking) 879.11 Asphalt 2.0" (Compound) 879.11 Asphalt 2.0" (Compound) 1.597.00 Concrete Pavement (Compound) 1.597.00 Concrete Pavement (Compound) 1.597.00 Concrete Pavement Compound 1.507.00 Concrete Curb-Culter (Romana) 1.507.00 Concrete Curb-Culter (Romana) 2.78.00 Concrete Curb-Culter (Romana) 2.79.00 Concrete Curb-Culter (Roma	pábs	•		•	2 00 /snvd	060.3	900
Asphalt 2.0" (Intendencia) Grading (Reus) 12" Compacted Subgrade (Intendencia) 40.00 Street Parking Relocation (Intendencia) Grading (Primary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Primary Parking) 8" Graded Aggregate Base (Primary Parking) 8" Graded Aggregate Base (Primary Parking) 8" Graded Aggregate Base (Inmary Parking) 8 Graded Aggregate Base (Domary Parking) 8 Graded Aggregate Base (Loading Dock) 9 Goncrete Pavement Concrete Pavement Concrete Curb-Gutter (Romana) 9 Goncrete Curb-Gutter (Romana) 9 Goncrete Curb-Gutter (Romana) 9 Goncrete Curb-Gutter (Rowana) 9 Goncrete Curb-Gutter (Rowana)	pábs				3.00 /sayd	26.	96
12" Compacted Subgrade (Intendencia) 40,00 Asphalt 2.0" (Intendencia) 40,00 Street Parking Relocation (Intendencia) 40,00 Grading (Pumary Parking) 1,00 Grading (Pumary Parking) 879,11 12" Compacted Subgrade (Primary Parking) 879,11 12" Compacted Subgrade (Primary Parking) 879,11 12" Compacted Subgrade (Primary Parking) 879,11 12" Compacted Subgrade Base (Auxiliary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 1.0" (Primary Parking) 879,11 Asphalt 1.0" (Primary Parking) 879,11 Asphalt 1.0" (Primary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 1.0" (Primary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 2.0" (Pumary Parking) 879,11 Asphalt 1.0" (Primary Parking) 879,	phbs			a	12.82 /savd	221	2 62
12. Compacted Subgrade (Intendencia) 40.00 Shebhalt 2.0" (Intendencia) 1.00 Street Parking Relocation (Intendencia) 1.00 Street Parking Relocation (Intendencia) 1.00 Grading (Primary Parking) 879.11 12" Compacted Subgrade (Auxiliary Parking) 879.11 12" Compacted Subgrade (Auxiliary Parking) 879.11 12" Compacted Subgrade Base (Auxiliary Parking) 879.11 14" Graded Aggregate Base (Auxiliary Parking) 879.11 15" Graded Aggregate Base (Primary Parking) 5.037.67 Asphalt 2.0" (Auxiliary Parking) 5.037.67 Asphalt Pavement Concrete Pavement (Compound) 6" 5.037.67 4" Graded Aggregate Base (Compound) 1.597.00 Concrete Pavement (Compound) 6" 1.597.00 Concrete Pavement (Compound) 7.50.00 Concrete Curb-Culter (Romana) 7.50.00 Concrete Curb-Culter (Romana) 7.50.00 Concrete Curb-Culter (Romana) 7.50.00 Concrete Curb-Culter (Reus) 7.000 Concrete Curb-Culter (Reus	pkbs	*	-		2.00 /savd	2	5
Astralat 2.0' (Intendencia) Street Parking Relocation (Intendencia) Grading (Primary Parking) Grading (Primary Parking) 12" Compacted Subgrade (Auxiliary Parking) 12" Compacted Subgrade (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8 " Graded Aggregate Base (Auxiliary Parking) 8 " Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Loading Dock) 6" Graded Aggregate Base (Loading Dock) 750.00	pábs	•				120	000
Street Parking Relocation (Intendencia) Grading (Auxillary Parking) Grading (Auxillary Parking) Grading (Pirmary Parking) 12" Compacted Subgrade (Auxillary Parking) 8" Graded Aggregate Base (Auxillary Parking) 8" Graded Aggregate Base (Pirmary Parking) 8" Graded Aggregate Base (Pirmary Parking) 8 Sphall 2.0" (Auxillary Parking) 9 Sphall 2.0" (Auxillary Pa	pábs	1			12 82 /snvd	543	250
Grading (Auxiliary Parking) Grading (Primary Parking) 12" Compacted Subgrade (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 879.11 8" Graded Aggregate Base (Auxiliary Parking) 879.11 8 Sphalt Low (Auxiliary Parking) 879.11 8 Sphalt Low (Auxiliary Parking) 8 Sphalt Low (Asphalt Low (Auxiliary Parking) 8 Sphalt Low (Asphalt Base (Loading Dock) 8 Sphalt Pavement Concrete Pavement (Loading Dock) 8 Sphalt Concrete Pavement (Loading Dock) 8 Sphalt Pavement Concrete Pavement Concrete Pavement Concrete Pavement Concrete Pavement Concrete Pavement Concrete Curb-Gulter (Romana) Concrete Curb-Gulter (Romana) Concrete Curb-Gulter (Romana) Concrete Curb-Gulter (Rowana) Concrete Curb	Isom	4		٠		2 500	200
Usering (Primary Parking) 12" Compacted Subgrade (Auxiliary Parking) 12" Compacted Subgrade (Primary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8" Graded Aggregate Base (Auxiliary Parking) 8 Sphalt 2.0" (Auxiliary Parking) 9 Sphalt 2.0" (Auxiliary Parking) 9 Sphalt 2.0" (Auxiliary Parking) 9 Sphalt 2	phbs	,			2,00 /savd	1 758	1 758
1.2. Compacted Subgrade (Auxiliary Parking) 879-11 1.2. Compacted Subgrade (Auxiliary Parking) 8.037-67 8° Graded Aggregate Base (Auxiliary Parking) 8.037-67 Asphalt 2.0° (Auxiliary Parking) 8.037-67 Asphalt 2.0° (Auxiliary Parking) 8.037-67 Asphalt 2.0° (Auxiliary Parking) 8.037-67 Asphalt 1.2.0° (Auxiliary Parking) 8.037-67 Asphalt 1.2.0° (Auxiliary Parking) 8.037-67 Asphalt Pavement Compound) 8.037-67 Asphalt Pavement Compound) 6° 1.597-00 Concrete Pavement (Compound) 6° 1.597-00 Concrete Pavement (Compound) 6° 1.597-00 Equipment Pads (Loading Dock) 6° 1.597-00 Equipment Pads (Loading Dock) 6° 1.597-00 Concrete Davement Compound) 8° 1.590-00 Concrete Curb-Cutter (Romana) 2.78-00 Concrete Curb-Cutter (Romana) 89-00 Concrete Curb-Cutter (Romana) 89-00 Concrete Curb-Cutter (Romana) 89-00 Concrete Curb-Cutter (Romana) 6° 1000 Concrete Curb-Cutter (Romana) 89-00 Concrete Curb-Cutter (Romana) 6° 1000 Concrete Curb-Cutter (Intendencia) 89-00 Concrete Curb-Cutter (Intend	pAbs	*	¥		2.00 /sqvd	10.075	10.075
8' Graded Aggregate Base (Auxiliary Parking) 8,037-67 879-11 8° Graded Aggregate Base (Auxiliary Parking) 8,037-67 Asphalt 2.0" (Auxiliary Parking) 8,037-67 Asphalt 2.0" (Auxiliary Parking) 8,037-67 Asphalt 2.0" (Auxiliary Parking) 8,037-67 Asphalt Pavement Concrete Pavement Compound) 8,987.00 4" Graded Aggregate Base (Compound) 1,597.00 Concrete Pavement (Compound) 6" 8,987.00 Concrete Pavement (Compound) 6" 8,987.00 Concrete Pavement (Compound) 6" 1,597.00 Equipment Pads (Loading Dock) 6" 1,597.00 Equipment Pads (Loading Dock) 6" 1,590.00 Concrete Pavement Compound 6" 1,590.00 Concrete Curb-Gutter (Romana) 278.00 Concrete Curb-Gutter (Romana) 20.00 Concrete Curb-Gutter (Romana) 20.00 Concrete Curb-Gutter (Romana) 600.00 Concrete Curb-Gutter (Romana) 20.00 Concrete Curb-Gutt	phbs			,	3.00 /sqvd	2.637	2,637
8 Graded Aggregate Base (Auxiliary Parking) 8 Graded Aggregate Base (Primary Parking) 8 Sp. 11 8 Asphalt 2.0° (Auxiliary Parking) 8 Asphalt 2.0° (Auxiliary Parking) 8 Asphalt 2.0° (Auxiliary Parking) 8 Asphalt Pavement Concrete Pavement 4° Graded Aggregate Base (Loading Dock) 9 Graded Aggregate Base (Loading Dock) 1,597,00 1,	pábs			9	3.00 /sayd	15 113	15 113
Asphalt 2.0° (Auxiliary Parking)	pkbs	ì	A		22.00 /sqyd	19,340	19.340
Asphalt 2.0° (Primary Parking) Asphalt Pavement Concrete Pavement 4" Graded Aggregate Base (Loading Dock) 4" Graded Aggregate Base (Loading Dock) 597,00 Concrete Pavement (Compound) 6" 8,997,00 Concrete Pavement (Loading Dock) 6" 1,597,00 Equipment Pads (Loading Dock) 6" 1,597,00 Equipment Pads (Loading Dock) 6" 1,597,00 Concrete Pavement Concrete Pavement Concrete Curb-Gutter (Romana) 278,00 Concrete Curb-Gutter (Romana) 30,00	pAbs	ix.		*	22.00 /sqyd	110,829	110,829
Asphalt HD (Primary Parking) Asphalt Pavement Concrete Pavement 4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Loading Dock) 5" Say 500 Concrete Pavement (Compound) 6" 8 987 00 Concrete Pavement (Loading Dock) 6" 8, 8987 00 Equipment Pads (Loading Dock) 6" 8, 8987 00 Concrete Pavement Concrete Pavement Concrete Pavement Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Rowana) Concrete Curb-Gutter (Row	phbs				12.82 /sqyd	11,270	11,270
Asphalt Pavement Concrete Pavement 4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Loading Dock) 4" Graded Aggregate Base (Loading Dock) Concrete Pavement (Compound) 6" Concrete Pavement (Loading Dock) 6" Equipment Pads (Loading Dock) 6" Equipment Pads (Loading Dock) 6" Concrete Pavement Cube Gup-Culters Concrete Cut-Culter (Romana)	pkbs	*	•	•	12.82 /sqyd	64,583	64,583
Concrete Pavement 4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Loading Dock) 4" Graded Aggregate Base (Loading Dock) Concrete Pavement (Compound) 6" Concrete Pavement (Loading Dock) Equipment Pads (Loading Dock) Equipment Pads (Loading Dock) Concrete Pavement Curse-Cutters Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Intendencia)	- Diffe	•	Y	4	/sdyd		
4" Graded Aggregate Base (Compound) 4" Graded Aggregate Base (Loading Dock) 1,597,00 Concrete Pavement (Compound) 6" Concrete Pavement (Loading Dock) Equipment Pads (Loading Dock) Equipment Pads (Loading Dock) Equipment Pads (Loading Dock) Concrete Pavement Curse-Cutters Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Intendencia)						246,761	246,761
4" Graded Aggregate Base (Loading Dock) 1,597.00 Concrete Pavement (Compound) 6" 1,597.00 Concrete Pavement (Loading Dock) 6" 1,597.00 Equipment Pads (Loading Dock) 6" 7,597.00 Equipment Pads (Loading Dock) 7,500.00 Equipment Pads (Transformer) 7,500.00 Concrete Pavement Curb-Cutters Concrete Curb-Cutter (Romana) 2,780.00 Concrete Curb-Cutter (Romana) 30.00 Concrete Curb-Cutter (Intendencia) 30.00 Concrete Curb-Cutter (Intendencia) 89.00 Concrete Curb-Cutter (Intendencia) 89.00 Concrete Curb-Cutter (Intendencia) 89.00 Concrete Curb-Cutter (Intendencia) 51.00 Concrete Curb-Cutter (Intendencia) 51.00	Sqff	-			1 C7 Jack		
Concrete Pavement (Compound) 6" 8937 00 Concrete Pavement (Loading Dock) 6" 1,597 00 Equipment Pads (Loading Dock) 750 00 Equipment Pads (Transformer) 750 00 Concrete Duve-Gutter (Romana) 278 00 Concrete Curb-Gutter (Romana) 30 00 Concrete Curb-Gutter (Romana) 30 00 Concrete Curb-Gutter (Intendencia) 89 00 Concrete Curb-Gutter (Intendencia) 89 00	sqft				167 Jean	500,C	15,008
Concrete Pavement (Loading Dock) 6" 1,597,00 Equipment Pass (Loading Dock) 750,00 Equipment Pass (Loading Dock) 750,00 Equipment Pavement Curbs-Gutters Concrete Curb-Gutter (Romana) 278,00 Concrete Curb-Gutter (Romana) 30,00 Concrete Curb-Gutter (Intendencia) 89,00 Concrete Curb-Gutter (Press (Romana) 750,00 Concrete Curb-Gutter (Press (Romana) 750,00 Concrete Curb-Gutter (Intendencia) 89,00 Concrete Curb-Gutter (Intendencia) 89,00 Concrete Curb-Gutter (Intendencia) 89,00	sqft	4		,		2.007	/00'7
Equipment Pads (Loading Dock) Connect Pavement Curbs-Cutters Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Inhendencia) Concrete Curb-Gutter (Romana)	saft	9		,	S BO /sqff	61,920	61,920
Concrete Pavement Curba-Cuthers Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Romana) Concrete Curb-Gutter (Intendencia) Concrete Curb-Gutter (Intendencia) Concrete Curb-Gutter (Intendencia) Concrete Curb-Gutter (Reus) Concrete Curb-Gutter (Intendencia)	saft	1.			6.89 /enfl	2003	11,003
Concrete Pavement Curbs-Cutters Concrete Curb-Cutter (Romana) Concrete Curb-Cutter (DeVillers) Concrete Curb-Cutter (Intendencia) Concrete Curb-Cutter (Intendencia) Concrete Curb-Cutter (Reus) Concr	, use	9.	×		6 89 /soft	986	900
Concrete Curb-Gutter (Romana) 278.00 Concrete Curb-Gutter (DeVilliers) 30.00 Concrete Curb-Gutter (Intendencia) 89.00 Concrete Curb-Cutter (Reus) 51.00						96,731	96.731
30.00 30.00 89.00 89.00							
89.00		*	ď		19.50 Anft	5,421	5,421
51.00		*			19.50 Anft	585	585
200	E *		٠	×	22.00 Anft	1,958	1,958
269.00					22.00 Anft	1,122	1,122
946.00				9-1	22.00 Anft	5,918	5,918
524.00	Į.				22.00 Anft	20,812	20,812



49.00 / each 2.250 4.91 /sqrt 12.793 4.91 /sqrt 11.073 4.90 /sqrt 11.073 4.90 /sqrt 2.0.064 4.00 /sqrt 2.3.452 2.2.00 /nrt 1.386 5.00 /nrt 1.386 5.00 /sqrt 2.3.452 2.2.00 /sqrt 2.3.452 2.3.452 2.3.60 /sqrt 2.3.452 2.3.452 2.3.50 /sqrt 2.3.452 2.3.452 2.3.452 2.3.453 2.3.453 2.3.453 2.3.453 2.3.453 2.3.500 /sqrt 3.350 /sgcrt 3.500 2.500 /sqrt 3.550 /sgcrt 3.500 /sgcrt 3.500 /sgcrt 3.500 /sgcrt 3.500 /sgcrt 3.500 /sgcrt 2.500 /sgcrt 2.500 /sgcrt 2.500 /sgcrt 2.500 /sgcrt 3.500 /sgcrt 2.500	Group	Phase	Description	Takeoff Quantity	Labor Price	Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
1912 Secretar 1913 Sec		321612	Curbs-Gutters					umount			
17.123 Control Collection 2.0.00.00 to 10.00 to 10.			Wheel Stops	50.00 each	Ä			2	45.00 Jazoh	030	
131723 Secretaria 1,200 cm			Curbs-Gutters							AB EAE	2,230
Section of the content of the cont		321622	Sidewalks							200	010'01
Secretary (Name of the content of			Sidewalks (Romana)	2,603.00 sqft						12 793	12 793
Second from the color of the			Sidewalks (Devillers)	2.472.00 sqft	ř.	4	X-	¥		12,149	12.149
Secretarion of National Strategy 1,200 to and 1,000 t			Sidewalke (Deire)	2,956,00 sqf	-	*	0			14 527	14.527
Scientific Significant 2000 to test 200 to test 20			Tactical Warning String	2,233.00 sqm		į.			4.91 /sqft	11,073	11,073
Secondary Seco			Sidewalks (Site)	8.00 each		a:	ť	⊒i∙	45.00 /each	360	360
Parament Naturally States Parament Naturally Parament Naturally			Dumpster Pad	280 00 squ		4			4.91 /sqft	9.864	9,864
Parament Nationary Parametry 100 turn			Sidewalks	ibs on os			ď	¥	3.25 /sqft	910	910
Parament Marchary (Intering Parame) 100 kmm 4500		321722	Pavement Markings							61,676	61,876
Particle Strates Particle St			Pavement Markings (Auxiliary Parking)	1.00 Isum							
Particle Script Particle P			Pavement Markings (Primary Parking)	1.00 Isum			+	•	450.00 Asum	450	450
Facility Signage (Principle Character) 100 fourmary parkings 1500			Parking Signage (Auxilixary Parking)	2.00 each				•	1,800,00 Asum	1,800	1,800
Facility Style Province Strains Style 700 each			Parking Signage (Primary Parking)	1.00 Isum	•			1-	150.00 /each	300	300
Tradit Sale			Handicap Symbol & Sign	7.00 each	- 3		+ -:	•	750.00 /Isum	150	750
Parameter Management Parameter Management Management Parameter			Traffic Sign	4.00 each				·	350.00 /each	2.450	2,450
STEE BASES ALLASTS PAYING SALLASTS PAYING			Pavement Markings					•	150.00 /each	909	009
State Stat			BASES, BALLASTS, PAVING							6,350	6,350
State Pennicipal and General Content State Sta	123000		SITE IMPROVEMENTS							460,064	460,064
Mistany Pairs Wilchest Cap 34.00 faum 84.844		323102	Fencing and Gates								
Standard Care (Parking) 698 to Inft Carlo Lark Federing (Service) 698 to Inft Carlo Lark Federing (Service) 698 to Inft Carlo Lark Federing (Service) 698 to Inft Carlo Lark Federing (Case) 698 to Inft 600	= 1		Masonry Piers w/Precast Cap	34.00 Isum		-				100	
Chair Lak Fencing (24844) 100 to the control (24844) 1400 fast 1400 fa			8' Aluminum Powder Coated Fence (Parking)	608.00 Inft	10			•	Z,496.00 //sum	84,864	84,864
Chair Link Ferroing (Sales widness) 183.00 hml 1936			Chain Link Fencing (SWMF)	- Inft	*				14.00 Anti	39,520	39,520
Characterist Sabo introductions Accordance Accord			Chain Link Fencing (Cages)	183.00 Inft		*			22 On Anth	. 000	0
Charal Luk Fancing Gas Storage Wideles 1200 Inft 100 each 100 inft			Chain Link Fencing (Warehouse w/Gates)	63.00 Inft	t	3			32 00 00	4,026	4.026
Siding State Wildle Operator (Leaning Vest) 1.00 each 1.00 e			Chain Link Fencing (Gas Storage w/Gates)	12.00 Inft					50.00 000	600	986
Siding State Wide Update() (100 each 17,500 00 feach 17,700 feach			Chain Link Fencing - Segmental Wall	- Infl		4		4	14.00 //m@	200	000
Mario Gate Wikkluo Deperator (Parking) Lot) 2.00 each 17,500 to 6ach 17,750 to 6ach 10,000 to 1,000 to 1			Sliding Gate w/Auto Operator (Loading Dock)	1.00 each	0	•				17 500	17 500
Main Gate winking book & CR (Parmy Lot) 1,000 each			Silding Gate W/Auto Operator (Parking Lot)	2.00 each		÷	Y	•		35,000	35,000
Main Gate Windle Compound 100 each 17500 or 175			Man Gate W/Mag Lock & CR (Parking Lot)	1.00 each		¥			4,000.00 /each	4.000	4 000
Tenting and Gales Tent			Man Gate withing 1 of 9 Compound)	1.00 each			7-	*	17,500,00 /each	17,500	17,500
32302 Retaining Walls 1,095.00 sqrf 1,			Fencing and Gates			ŧ	*		6,000,00 /pair	6,000	9,000
Segmented Retaining Wall		323202	Retaining Walls							210,396	210,396
Retaining Walls Retaining Walls S2400 sqrt S2500			Segmented Retaining Wall	1,066.00 sqft							100000
Imageton Imageton 28,550.00 sqrft 20,500 Imageton 28,550.00 sqrft 20,500 Imageton 28,550.00 sqrft 20,500 Imageton 28,550.00 sqrft 20,500 Street Open Cut & Repair 1,500 lint 31,00 lint 33,00 lint 33,00 lint 33,00 lint 33,00 lint 5,000 Backflow- Domestic 1,00 each 2,00 each 2,500 lint			Retaining Walls						75.00 /sqn	23,452	23,452
Imgation 28,550,00 sqrt 28,550,00 sqrt 28,550,00 sqrt 7,530 Planting 28,550,00 sqrt 7,530 Planting 28,550,00 sqrt 7,530 Planting 214 /sqrt 60,370 8,550,00 sqrt 7,530 Planting 214 /sqrt 60,370 8,550,00 sqrt 1,500 /mt 1,500 /mt 1,500 /mt 5,000 on /sum 5,000 1,00 sach 1,00 sa		328002	Imgation							768'67	23,462
129002 Landscaping 28,550.00 sqrt 28,550.00 sqrt 7,530 Sod & Groundcover 28,550.00 sqrt 7,530 Planting			Irngation	28,550,00 sqft	i	2		1	0.72 /saft	20 500	20 500
Sample S			Irrigation							20,00	20,000
Substitution 28,550 to set 7,530 Pand Authoritic 28,550 to set 7,530 Landscaping Landscaping 2.14 /set 60,970 Landscaping SiTE IMPROVEMENTS 2.14 /set 60,970 Landscaping SiTE IMPROVEMENTS 3.240 lint 510 Site Water Lines 34,00 lint 510 Site Water Main to BFP 15,00 / lint 5,000 Site Water Main to BFP 1,00 seach 5,000 / lint 5,000 Site Water Main to BFP 1,00 seach 2,00 seach 5,000 lint 5,000 Site Water Main to BFP 1,00 seach 2,00 seach 5,000 / lint 5,000 lint		329002	Landscaping							200'04	000'07
Landscaping			Sod & Groundcover	28,550.00 sqfl	X				0.26 /sqft	7,530	7,530
SITE IMPROVEMENTS SITE			Table of the second	28,550.00 sqff	y.		1-	*	2.14 /sqft	60,970	60,970
322,848 323333333333333333333333333333333333			SITE IMPROVEMENTS							68,500	68,500
33102 Site Water Lines 34.00 Inft 34.00 Inft 510 Site Water Main to BFP 1.00 isum 5.000 on fram Street Open Cut & Rapair 2.00 each 3.500 Tapping Sleeve & Valve 3.500 inft 3.550 Backflow - Domiestic 1.00 each 5.000 of leach 1.00 each 5.000 of leach 5.000 of leach	30000		UTII ITIES							322,848	322,848
San to BFP 34.00 Inft 510 Cut & Repair 100 Isum 5,000 on flaum 5,000 Eve & Valve 2.00 each 1,775.00 /each 3,550 33.00 Inft 25.00 Inft 825 omestic 1,00 each 5,000 (of each) 5,000 (of each)		331102	Site Water Lines								
Cut & Repair 1.00 lsum 5100 cm 5500 cm 1.00 lsum 55,000 cm 5,000 cm 1.75 cm 1.00 cm 33.00 lnft 8.55 cm 1.00 cm			Site Water Main to BFP	34.00 Inft							
Eve & Valve 2.00 each 3,000 33.00 Inft 3,550 omestic 1,00 each 5,000 00 feach 5,000			Street Open Cut & Repair	1.00 Isum				e ·	15.00 Anti	510	510
33.00 Inft 5.500 Inft 5.500 Inft 5.000 00 leach 5.0			Tapping Sleeve & Valve	2.00 each	•				1775 OG 1225	000'6	2,000
1.00 each 5.000 0 (each 5.000 c			6" Fire Main	33.00 Inft	k	•		,	25.00 //p#	3,550	3,550
0000			Backflow - Domestic	1.00 each	2				5 000 00 /each	2000	000 8



33102 Site Water Lines Backflow - Fire Backflo		Labor Amount	Material Price	Material	Sub Price	Sub Amount	Total Amount
Backflow - Fire Backflow - Fire Backflow Assembly Cover Fire Hydrant Assembles (Existing) PIV (Wall-Mounted) Fire Department Connection Site Water Lines Stewart Lines Meter Set & Utility Connection Fees Mathole Street Open Cut & Repair Sewer Unes Street Open Cut & Repair Sewer Unes Street Open Cut & Repair Type "E" Infels Mathole Street Set Meter Set Fee UTILITIES Tap Fees/System Charges Water Meter Utility Meter Set Fee Gas Water Meter System Charge Infination Meter Utility Set Fee Gas Meter Set Set Multity Connection Fee							
Backflow Assembly Cover Fire Hydrant Assembles (Existing) PIV (Wall-Mounted) Site Water Lines 331112 Natural Gas Service Meter Set & Utility Connection Fees Service Gas Piping & Fittings Meter Description Sever Une (Gravity) Sever Unes Street Open Cut & Repair Targen Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter System Charge Ingalian Meter Utility Set Fee Gas Meter Set Set Utility Connection Fee	1.00 each				4200 00 000 51	400	
Fire Hydrant Assembles (Existing) PIV (Wall-Mounted) Fire Department Connection Site Water Lines Natural Gas Service Meter Set - Trade Gas Plping & Fittings Meter Set - Trade Gas Plping & Fittings Meter Set - Wilty Connection Fees Natural Gas Service Site Sewer Line (Saving) Street Open Gut & Repair Sewer Line (Gaving) Street Open Gut & Repair Sewer Line (Gaving) Street Open Gut & Repair Sewer Line (Gaving) Street Open Gut & Repair Sewer Lines Storm Drainage 12° RCP 110652 The "E" Inlets John Drainage 12° RCP 110653 Trench Drain Trench Drain Tie-In to Existing Storm Drainage UTILITIES Tap Fees/System Charges Water Meter System Charge Water Meter System Charge I'mgation Meter Utility Set Fee Gas Meter Set Sut Wiltity Connection Fee Gas Water Service Charge	1.00 each		. ,		7 500 00 /each	7,500	12,000
Fire Department Connection Site Water Lines 333102 Safe Water Lines Meter Set - Trade Gas Plping & Fittings Sever Lines Santiary Sever Lines Storm Drainage 12" RCP Glean-Outs Manhole Street Open Cut & Repair Sever Lines Storm Drainage 12" RCP 1170 Subsurface Exfiltration System 11652 Type "E" Inlets Junction Box Division Box Division Box Division Box Division Box Division Box Division Box Type "E" Inlets Junction Box Division Box Division Meter Set Fee UTILITIES Tap Fees/System Charges Water Meter System Charge Impation Meter Lultity Set Fee Gas Meter Set Set Multity Connection Fee	- each	•			John Jeach	006'/	7,500
Fire Department Connection Site Water Lines Meter Set A. Unity Connection Fees Meter Set Julity Connection Fees Natural Cas Service Service Julity Connection Fees Natural Cas Service Service Julity Connection Fees Street Open Cut & Repair Sewer Lines Sower Lines Street Open Cut & Repair Sewer Lines Street Open Cut & Repair Sewer Lines Street Open Cut & Repair Sewer Lines Street Open Cut & Repair Natural Cas Service Manhole Street Open Cut & Repair Manhole Street Open Cut & Repair Tole Sewer Lines Storm Drainage UTILITIES Tap Fees/System Charges Water Meter System Charge Water Meter System Charge Ingalion Meter Lulity Rete Set Fee Water Meter System Charge Ingalion Meter Lulity Connection Fee	1.00 each				, reach		9
Site Water Lines 331112 Natural Gas Service Meter Set - Titungs Gas Piping & Fittings Meter Set & Utility Connection Fees Matural Gas Service Site Sewer Lines Sewer Line (Grawly) Clean-Outs Manhole Site Sewer Lines Stat Dain Dainage 12" RCP 1170 Subsurface Exfiltration System 11652 Type "E" Inidis Junction Box Division Box Trench Drain The-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter System Charge Irrigation Meter Utility Meter Set Fee Gas Meter Set & Utility Connection Fee	1 00 each				3,000,00 reach	3,000	3,000
Meter Set Trade Gas Plping & Fittings Meter Set & Utility Connection Fees Meter Set & Utility Connection Fees Matural Gas Service Site Sewer Lines Sanitary Sewer Tie-In to Existing Street Open Cut & Repair Sewer Line (Gravity) Clean-Outs Manhole Site Sewer Lines Mathole Mathole Mathole Site Sewer Lines Mathole			•		3,000,00 /each	3,000	3,000
Meter Set - Trade Gas Plping & Fittings Meter Set & Utility Connection Fees Natural Gas Service Site Sewer Lines Sewer Tre-In to Existing Street Open Cut & Repair Sewer Lines Storm Drainage 12* RCP Subsurface Exitiration System Type "E" Infets Junction Box Division Box Division Box Division Drainage 11* Res Storm Drainage 12* RCP Subsurface Exitiration System Tre-In to Existing Storm Drainage UTILITIES TAP FEES/S YSTEM CHARGES Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Water Meter System Charge Irrigation Meter Utility Connection Fee Sewer System Charge						40,385	40,385
Mater Set & Utility Cornection Fees Natural Gas Service Sile Sewer Lines Service Service Sine Sewer Lines Service Connection of Gravity Clean-Outs Manhole Site Sewer Lines Storm Drainage 12" RCP 18" - 24" RCP Subsurface Exfitration System Type "E" Infets Junction Box Division Box Division Box Division Box Then b Drain Tell to Existing Storm Drainage UTILITIES Tap FEES/SYSTEM CHARGES 341113 Tap Fees/System Charge Water Meter System Charge Infigation Meter Utility Set Fee Water System Charge Fingation Meter Utility Connection Fee Sewer System Charge	1,00 each						
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333102 Site Sewer Lines Site Sewer Lines Sewer Line (Gravity) Clean-Outs Manhole Stee Sewer Lines 334102 Storm Drainage 12' RCP Subsurface Exfiltration System 17' Fee Sewer Lines 334103 Tap Fees/System CHARGES 341113 Tap Fees/System Charge Water Meter System Charge Impation Meter Charge Water Meter System Charge Gaswer Linity Connection Fee Gaswar Lines Storm Drain Tie-In to Existing Storm Drain Set Fee United Meter Utility Meter Set Fee Gas Meter Set Vitility Connection Fee Gaswer System Charge	The State			*	- /lnft	•	0
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Sanitary Sewer Tra-In to Existing Sirect Open Cut & Repair Sewer Line (gravity) Clean-Outs Manchole Site Sewer Lines Storm Drainage 12" RCP Subsurface Extitration System 11 65 Type "E" Inlets Junction Box Ounction Box Ounction Box Trench Drain Te-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Connection Fee Gas Meter System Charge Irrigation Meter Utility Connection Fee Sawer System Charge						7,000	7,000
Street Open Cut & Repair Sewer Line (Gravity) Clean-Outs Marhole Site Sewer Lines Strom Drainage 12" RCP 18" - 24" RCP Subsurface Extitration System 11, 65 Type "E" Inlets Junction Box Ounction Box Ounction Box Ounction Box Trench Drain Te-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Gas Meter System Charge Irrigation Meter Utility Connection Fee Gas Meter System Charge Fees/System Charge Fees/System Charge	wing o	,					
Sewer Line (Gravity) Glean-Outs Marhole Site Sewer Lines 12" RCP 12" RCP 14" 24" RCP 14" 24" RCP 19" "E' Inlats Junction Box Division Box Division Box Division Box Trench Drain Tel- in Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 34113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Irrigation Meter Utility Connection Fee Gas Meter Sta Utility Connection Fee Sawer System Charges					Z,000.00 /Isum	2,000	2.000
Clean-Outs Marhole Site Sever Lines Sform Drainage 12" RCP 117" Subsurface Exfiltration System 17" Pre" Indis Junction Box Division Box Division Box Trench Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Irrigation Meter Utility Connection Fee Sawer System Charges	463.00 Inft			•	5,000.00 /Jsum	2,000	5,000
Site Sewer Lines Steen Drainage 12" RCP 18" - 24" RCP Subsurface Exitiration System 11 f65 Type "E" inlets Junction Box Division Box Trench Drain Te-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Gas Meter St & Utility Connection Fee Sewer System Charge	5.00 49.00				24.67 Anft	11,421	11,421
Site Sewer Lines 334102 Storm Drainage 12" RCP 18" - 24" RCP Subsurface Exfitration System 11,65 Type "E" Inlats Junction Box Ovision Box Ovision Box Trench Drain Tech in Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Gas Meter St & Utility Connection Fee Sawer System Charges Sawer System Charges	4100			,	800.00 /each	4.000	4,000
12" RCP 12" RCP 14" - 24" RCP Subsurface Exfiltration System Type "E" Inlets Junction Box Oivision Box Trench Drain Tel-In to Existing Storm Drainage UTILITIES TAP FEES/S YSTEM CHARGES 34113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter System Charge Irrigation Mater Utility Connection Fee Gas Meter Set & Utility Connection Fee Sawer System Charge	360	ì		•	4,000.00 /each	4,000	4 000
12" RCP 18" - 24" RCP Subsurface Exfiltration System Type "E" Inlets Junction Box Division Box Division Box Trench Drain Tel-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES TAP FEES/SYSTEM CHARGES Water Tap Fees Water Tap Fees Water Meter Utility Meter Set Fee Water Meter Stytem Charge Irrigation Mater Utility Connection Fee Gas Meter Stytem Charge Sawer System Charge						26,421	26,421
18" - 24" RCP Subsurface Exfiltration System Type-T" inlets Junction Box Division Box Division Box Trench Drain Tie-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Gas Meter System Charge Firingation Meter Utility Connection Fee Gas Meter System Charge	4						
Subsurface Exfiltration System Type "E" Inlets Junction Box Division Box Division Box Trench Drain Te-In to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Irrigation Meter Utility Connection Fee Sawer System Charge	100			•	42.00 Antt	5,040	5,040
Type "E" inlets Junction Box Division Box Trench Drain Te-In to Existing Storm Drainage UTLITIES TAP FEES/SYSTEM CHARGES 34113 Tap Fees! Water Tap Fees Water Meter Stylem Charges Water Meter System Charge Irrigation Meter Utility Meter Set Fee Water Meter System Charge Irrigation Meter Utility Connection Fee Gass Meter Set & Utility Connection Fee	1 1 1	p	ý.	•	53.68 /Inft	62,800	62,800
Junction Box Junction Box Division Box Trench Drain Tel-h to Existing Storm Drainage UTILITIES TAP FEES/S YSTEM CHARGES 34113 Tap Fees/System Charges Water Tap Fees Water Meter System Charge Irrigation Mater Utility Meter Set Fee Water System Charge Gas Meter Set & Utility Connection Fee Sawer System Charge	in some	d	*	De.	14.65 /sqff	170,715	170,715
Division Box Trench Drain Tie-th to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Tap Fees Water Meter Utility Meter Set Fee Irrigation Meter Utility Set Fee Gas Meter Sta Utility Connection Fee Gas Meter Set Utility Connection Fee	each		è	9	4,400.00 /each	30,800	30.800
Trench Drain Teach to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Irrigation Meter Utility Set Fee Gas Meter Sta Utility Connection Fee Sawer System Charge	u each	•	4	•	5,500.00 /each	38,500	38 500
Te-in to Existing Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Water Meter Utility Set Fee Gas Meter Sta & Utility Connection Fee Sewer System Charge	3.00 each	•			5,500.00 /each	16,500	16,500
Storm Drainage UTILITIES TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Water Meter System Charge Irrigation Meter Utility Set Fee Gas Meter Set & Utility Connection Fee Sower System Charge	2.00 mm	÷	91	•	· /Inft		0
UTILITIES TAP FEES/SYSTEM CHARGES 34113 Tap Fees/System Charges Water Tap Fees Water Water Utility Meter Set Fee Water Meter System Charge Irrigation Meter Utility Son Fee Gas Meter Set & Utility Connection Fee Sawer System Charge	C can		3	•	2,000.00 /each	2.000	2,000
TAP FEES/SYSTEM CHARGES 341113 Tap Fees/System Charges Water Tap Fees Water Meter Utility Meter Set Fee Water Meter System Charge Irrigation Meter Utility Son Fee Gas Meter Set & Utility Connection Fee Saver System Charge						326,355	326,355
Tap Fees/System Charges Water Tap Fees Water Tap Fees Water Meter Utility Meter Set Fee Water Meter System Charge frigation Meter Utility Set Fee Gas Meter Set & Utility Connection Fee						400,161	400,161
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	1 00 Isum			è-	3,500.00 Asum	3,500	3,500
	1.00 Isum			,	2,000.00 Asum	2,000	2,000
				•	3,500.00 /Isum	3,500	3.500
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Utilities	E S			ř	25,000.00 //sum	25,000	25,000
		,		4	15,000.00 /Isum	15,000	15,000
TAP FEES/SYSTEM CHARGES						25,000	56,000

Estimate Totals

Cost Basis		ď
Rate		25 000 %
Totals	25,096,672	
Amount 107,522 1,968,737 23,020,414	25,096,672	26,880
Description Labor Material Subcontract Equipment		Labor Burden



Estimate Totals

7.500 %	(1.500) %	0.343 %	0.221 %		4.303 %		4.500 %		
						26.294,350		27,477,596	
147,655	(376,450)	94,248	60,725	164,677	1,079,942	1,197,678	1.183,246		
Sales Tax	Sales Tax Savings	General Liability Insurance	Builder's Risk Insurance	Surety Bond	Contingency		CM Fee	Total	



Section Four

Potential VE Considerations

Alternates

- Provide bullet resistant fiberglass sheet at building lobby in lieu of 12" thick reinforced castin-place concrete – Add \$132,149
- 2. Add wall guards where indicated Add \$51,187
- Add SpaceSaver metal evidence lockers as specified Add \$315,930
- 4. Add Lift Arm gates inside of automatic sliding gates Add \$54,607
- Convert areas changed from epoxy flooring to resinous flooring back to epoxy flooring Deduct \$37,000
- 6. Eliminate dock leveler Deduct \$7,000
- 7. Use aluminum elevator sills in lieu of nickel silver Deduct \$7,000



Section Five Schedule

Schedule

The current pre-construction and proposed construction schedule is attached. A milestone schedule is included, below.

Milestone	Dates	Duration (days)	Duration (months)
NTP	Tuesday, July 03, 2018		
Site Work Through Primary Building			
Pad (Includes Stone Columns)	Monday, September 24, 2018	83	2.7
Primary Frame Completed	Monday, January 28, 2019	126	4.1
Exterior Envelope	Friday, July 19, 2019	172	5.7
Interior & Systems	Tuesday, December 03, 2019	137	4.5
Substantial Completion	Tuesday, December 03, 2019	518	17.0
Commissioning and Close-out	Friday, January 17, 2020	45	1.5



Section Six Attachments

Attachments

Attachment "A" - 100% Construction Document estimate is based on the drawings and specifications prepared by Rolland, Delvalle and Bradley, dated November 20, 2017.

Attachment "B" - 100% Construction Document Casework Matrix

Attachments "A" and "B" - REDACTED 119.071(3)(b)1 and 281.301 Florida Statutes